BASKERVILLE PAVILION

CLUB UPGRADE CD ISSUE

DRAWING LIST

SHEET				
NUMBER	SHEET NAME	REVISION	DESCRIPTION	DATE
A-0000	COVER	1	DA ISSUE	16/08/23
A-1000	SURVEY	1	DA ISSUE	16/08/23
A-1001	EXISTING SITE PLAN	1	DA ISSUE	16/08/23
A-1002	PROPOSED SITE PLAN	1	DA ISSUE	16/08/23
A-2000	EXISTING FLOOR PLAN	1	DA ISSUE	16/08/23
A-2001	PROPOSED FLOOR PLAN	1	DA ISSUE	16/08/23
A-2002	SET OUT	1	DA ISSUE	16/08/23
A-2101	ROOF PLAN	1	DA ISSUE	16/08/23
A-3000	ELEVATION	1	DA ISSUE	16/08/23
A-3001	ELEVATION	1	DA ISSUE	16/08/23
A-4000	MATERIALS & FINISHES	1	DA ISSUE	16/08/23

General	Notes

All drawings to be read in conjunctions with the following: 10.

a. Structural, Electrical, Mechanical, Hydraulic & Landscape Drawings, Elect, b. Specification

c. Finishes, Fixtures & Equipment Schedule

Council Requirements:

- 1. All development shall be contained within the property boundaries.
- Solar panels and satelite dishes are not visible from the street

General Construction Notes:

- 1. All work shall comply with the current Building Code of Australia, relevant Australian Standards and the 14. requirements of State and Local authorities.
- All work shall be carried out by qualified building tradespersons. All materials, fixtures, fittings and building
- components shall be supplied and installed in accordance with manufacturers specifications and recommendations.
- The Builder and sub-consultants shall check that drawings and specifications comply with their requirements prior to the commencement of construction and placement of orders.
- All concrete work is to comply with AS3600. Brickwork and weatherproofing to masonry is to
- comply with AS3700. Termite treatment shall be carried out in the form of hand-spraying under all new concrete slabs with approved termiticide, in accordance with AS3660.1 & BCA Part 3.1.4
- Weepholes are to be formed with 'Weepa standard', 2. installed to manufacturers instructions & in accordance with AS3700.
- Waterproof membranes are to be installed in accordance with AS2870 and damp proof courses/flashings in accordance with AS2904 to form **Finishes Notes**: a continuous moisture and vapour barrier.
- 10. Waterproofing membraranes for external above ground use must comply with AS 4654.1 and AS

- ALL WATERPROOFING TO BE APPLIED BY A MANUFACTURER APPROVED AND CERTIFIED SPECIALIST INSTALLER. A MINIMUM 10 YEAR WARRANTY AND COMPLIANCE CERTIFICATE TO BE PROVIDED UPON COMPLETION.
- 11. All flashings to match adjacent wall or roof colour unless otherwise specified.
- Allow to clean & seal all 'mono' concrete floors, paving & stone wall cappings with min. of 2 coats clear penetrating sealer.
- 13. All paint finishes shall incorporate a paint system as recommended by one of the following manufacturers: Dulux - Bristol - Taubmans - Wattyl. Paint system shall be a minimum of one sealer/primer coat plus two full strength top coats applied in
- accordance with AS2311 Bathrooms and wet areas are to be waterproofed and tiled in accordance with BCA Part 3.8 AS 3740, AS2358:1990 & AS3958. Floor tiles are to be laid to fall towards a trapped floor waste in each bathroom. MR plasterboard to all wet areas.
- No climbable balustrade or fixed furniture over 4m in height. Where anticon/sisilation joins are applicable, allow a
- 50mm overlap at joins, with the upper layer overlapping on the outside of the lower, taped with a 48mm reinforced foil tape. Application roll-out for this design profile is horizontal.

 17. Roof framing to AS1684.
- 18. No untreated softwoods to be used.

Glazing Notes:

- Window supplier to confirm window count, operation and details against plans and elevations. Any discrepancies to be discussed with architect/client. All operable windows to include flyscreens unless noted otherwise
- Draught seals to be included to all external windows and door frames unless noted otherwise.

All finishes, fixtures and fittings to be as per Architectural specification and FF&E schedule unless otherwise noted.



DATE 02-Oct-2023

FILE 21-2641-2 **GENERAL NOTES**

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7. Refer to A -000 for General Notes



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City Of Swan

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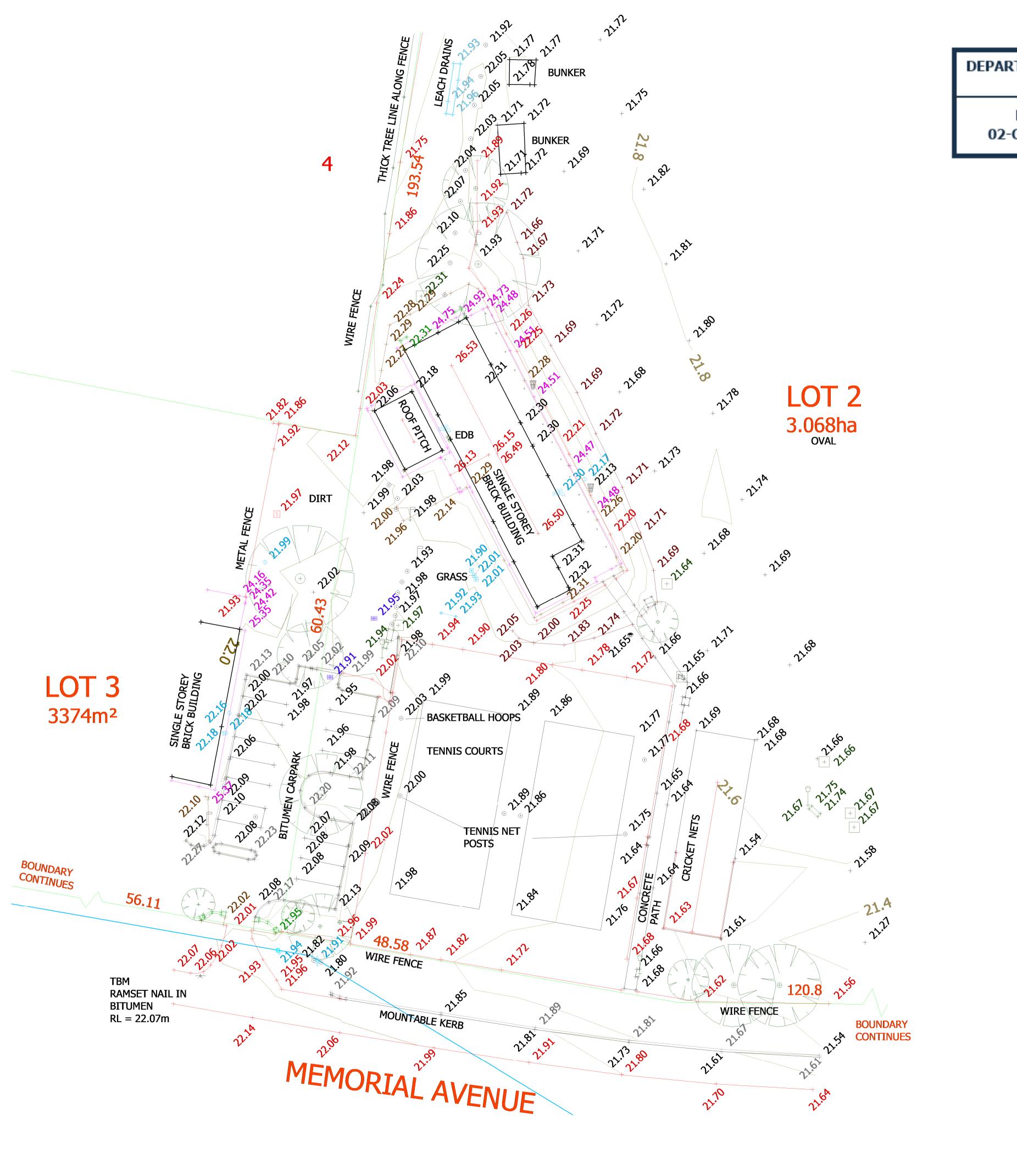
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Project Description Baskerville Pavillion

Project Number 02226 Drawing Title COVĔR

Chk GP Dwg Director Approval Drawing Number 16/08/23

Scale @ A1



DATE 02-Oct-2023 **FILE**

21-2641-2

LEGEND

BOUNDARY

ROAD CENTRE LINE

EDGE OF BITUMEN

BOTTOM OF KERB

AWNING/OVERHANG

TOP OF ROOF PITCH

FIBRE CEMENT FENCE

TOP OF KERB

BUILDING

EAVES

SHED

GATE

BRICK WALL

PAVING LINE CONCRETE HARDSTAND FOOTPATH (SLAB) TREE/BUSH LINE

TOP OF BANK

BOTTOM OF BANK

MAJOR CONTOUR

MINOR CONTOUR

SOLD PAINTED LINE

STOP VALVE

WATER CORPORATION EPLAN SERVICES:

WATER PIPE

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HYDRANT WATER TAP WATER METER **BORE** GRATE
 1
 16/08/23
 DA ISSUE

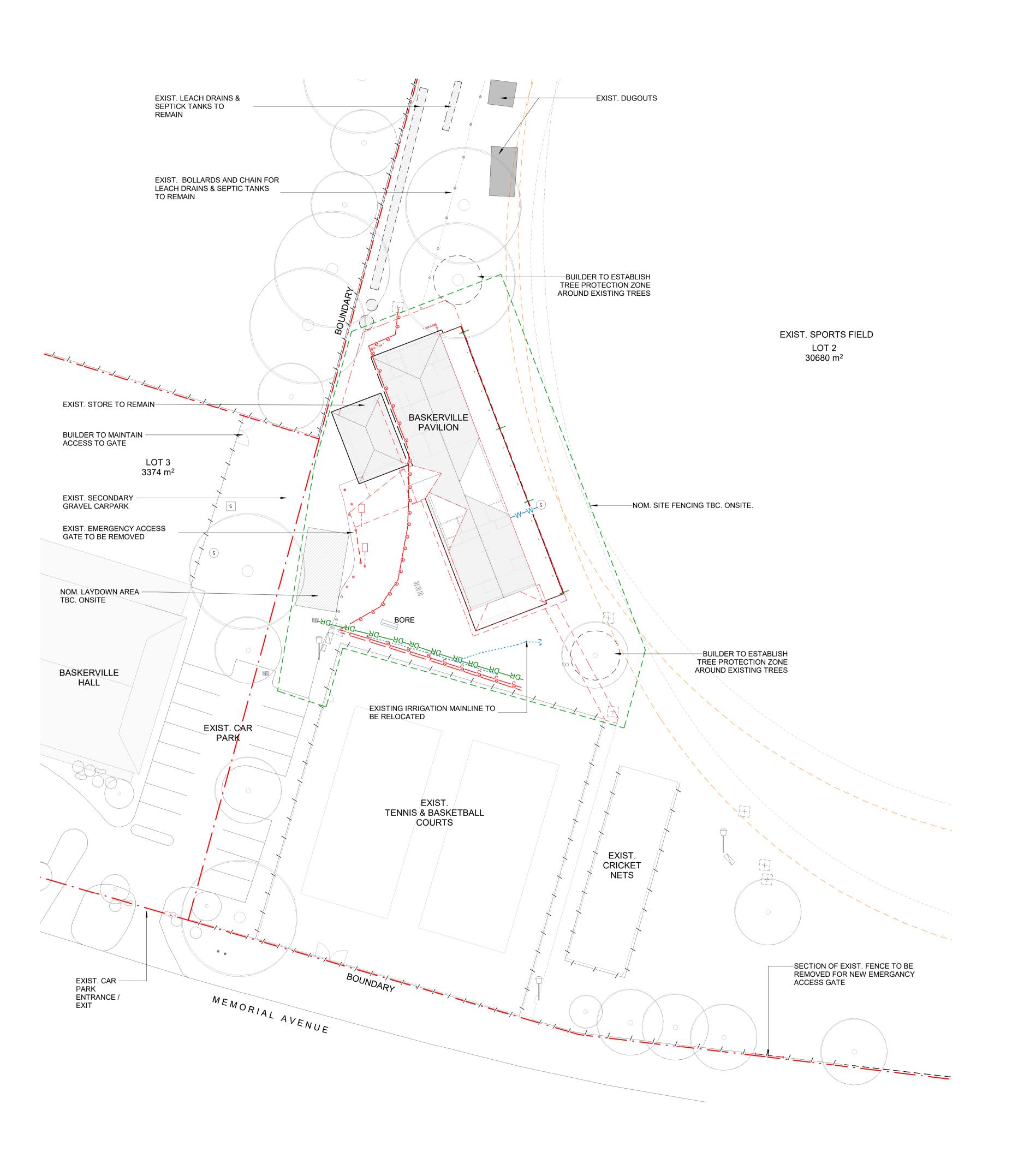
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 SEWER MANHOLE STREET LIGHT UNDERGROUND CABLE BOX POWER DOME POWER TRANSFORMER STREET SIGN City Of Swan BOLLARD DRINK FOUNTAIN IRRIGATION BOX DA ISSUE TEMPORARY BENCH MARK ARCHITECTURE

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A-1000

Project Description
Baskerville Pavillion Project Number 02226
Drawing Title
SURVEY Scale @ A1 As indicated Chk GP Dwg Director Approval

16/08/23



LEGEND

EXIST. BOUNDARY

EXIST. FENCE

TO BE DEMOLISHED

AREA OF WORKS

__ _ _ END OF 3M SPORTS FIELD BOUNDARY CLEARANCE

ELECTRICAL CABLE

WATER PIPE

DRANAGE/ STORMWATER

IRRIGATION MAIN LINE

LAYDOWN AREA

DEPARTMENT OF PLANNING, LANDS AND HERITAGE

DATE FILE **02-Oct-2023 21-2641-2**

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Project Description
Baskerville Pavillion

Project Number 02226

Drawing Title Scale @ A3 Scale @ A1

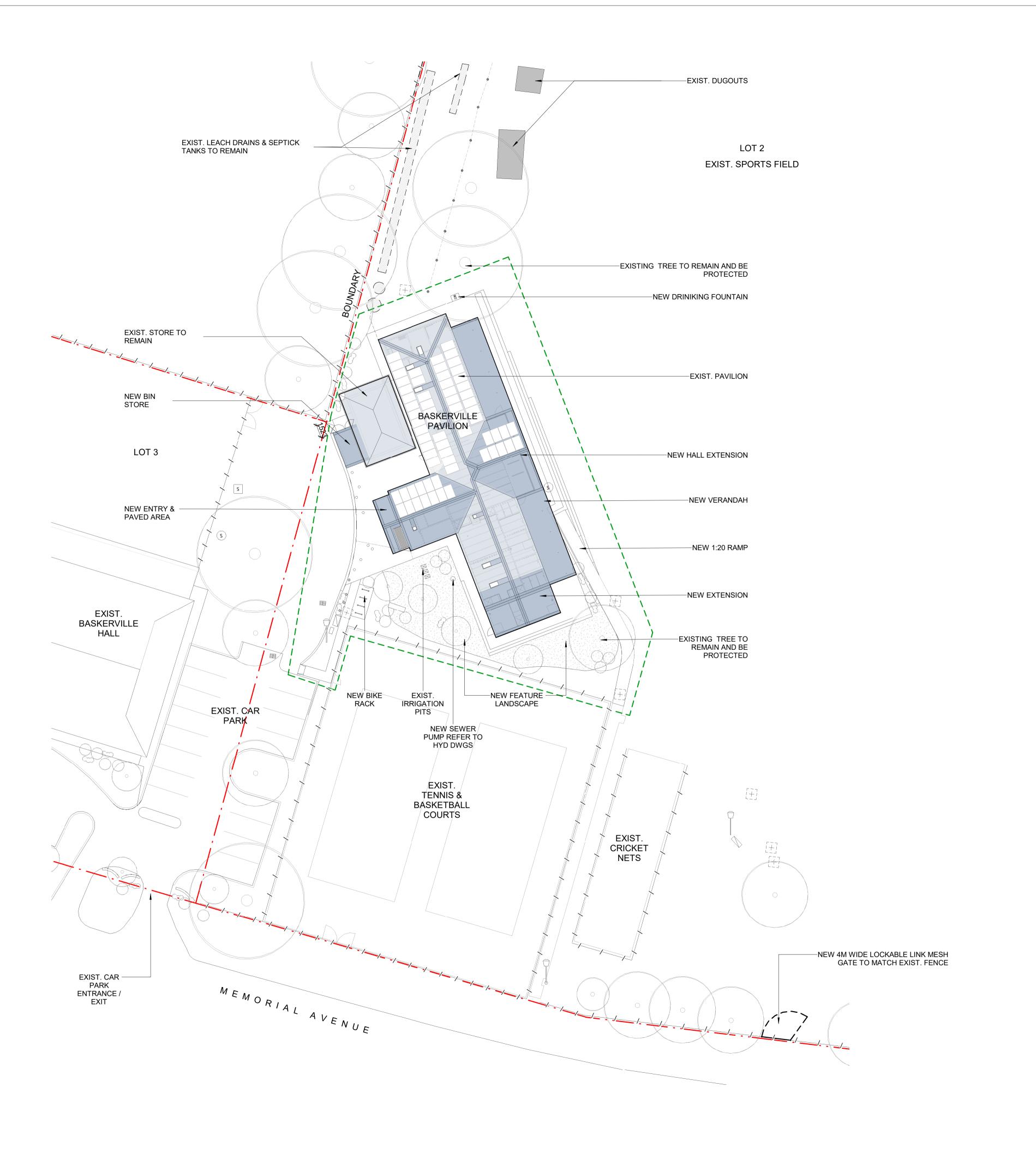
EXISTING SITE PLAN 1:500 1:250

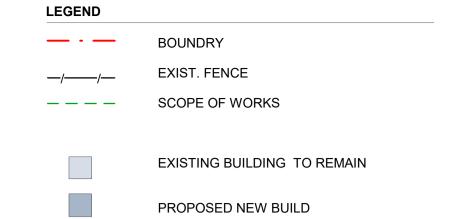
Dwg Director Approval

ng Number Date 16/08/23

4-1001

Chk GP





DATE **02-Oct-2023** FILE **21-2641-2** GENERAL NOTES

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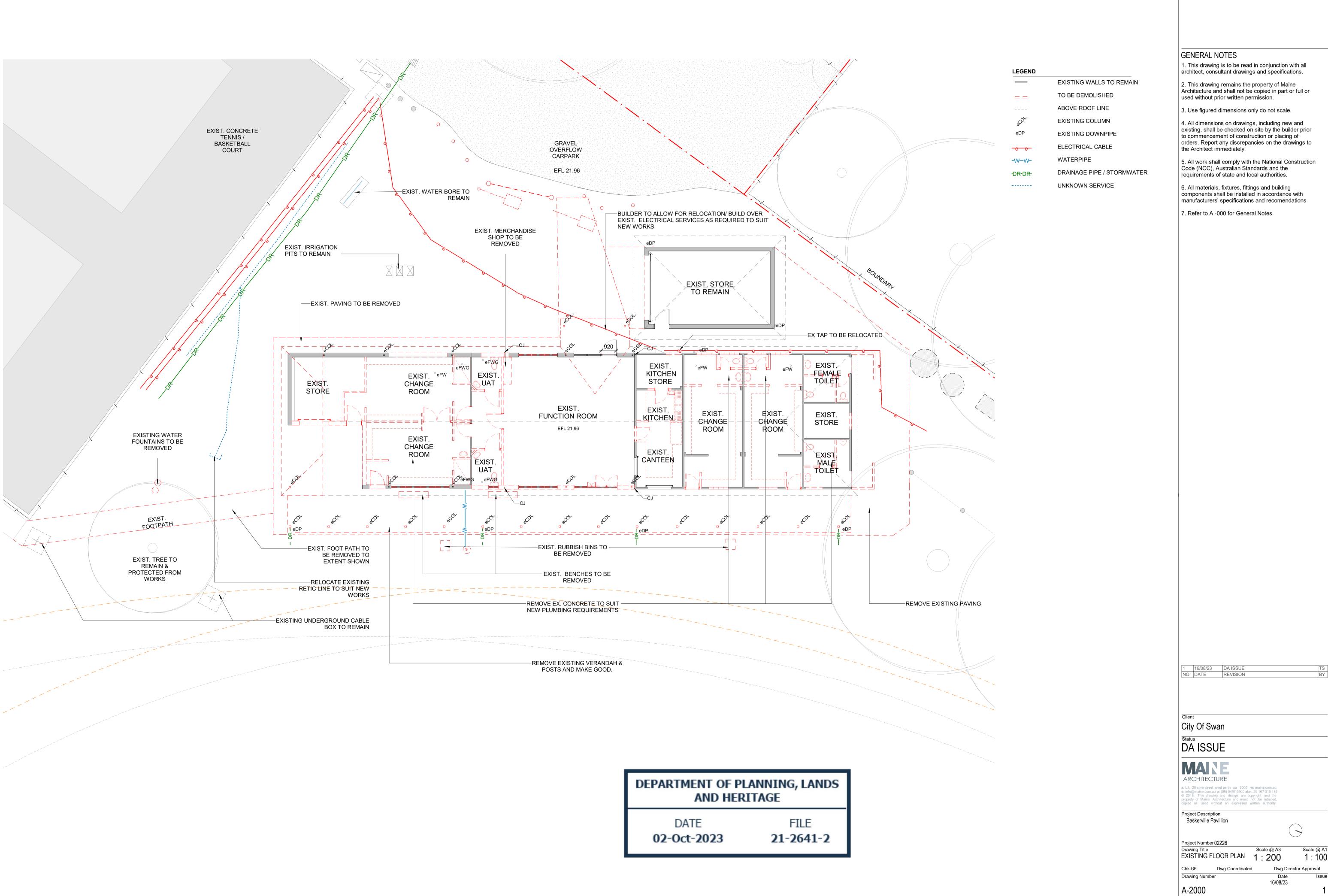
7. Refer to A -000 for General Notes

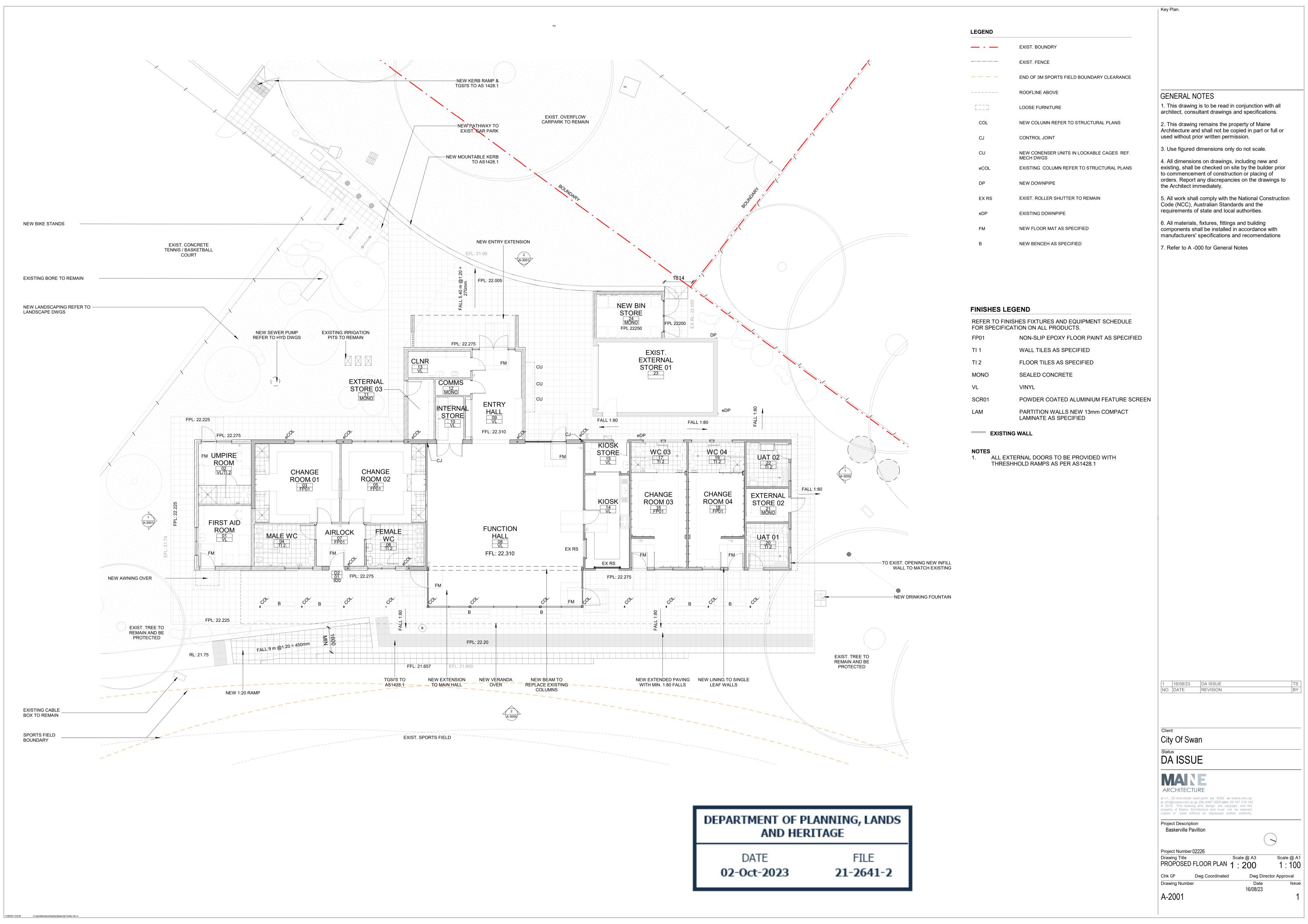
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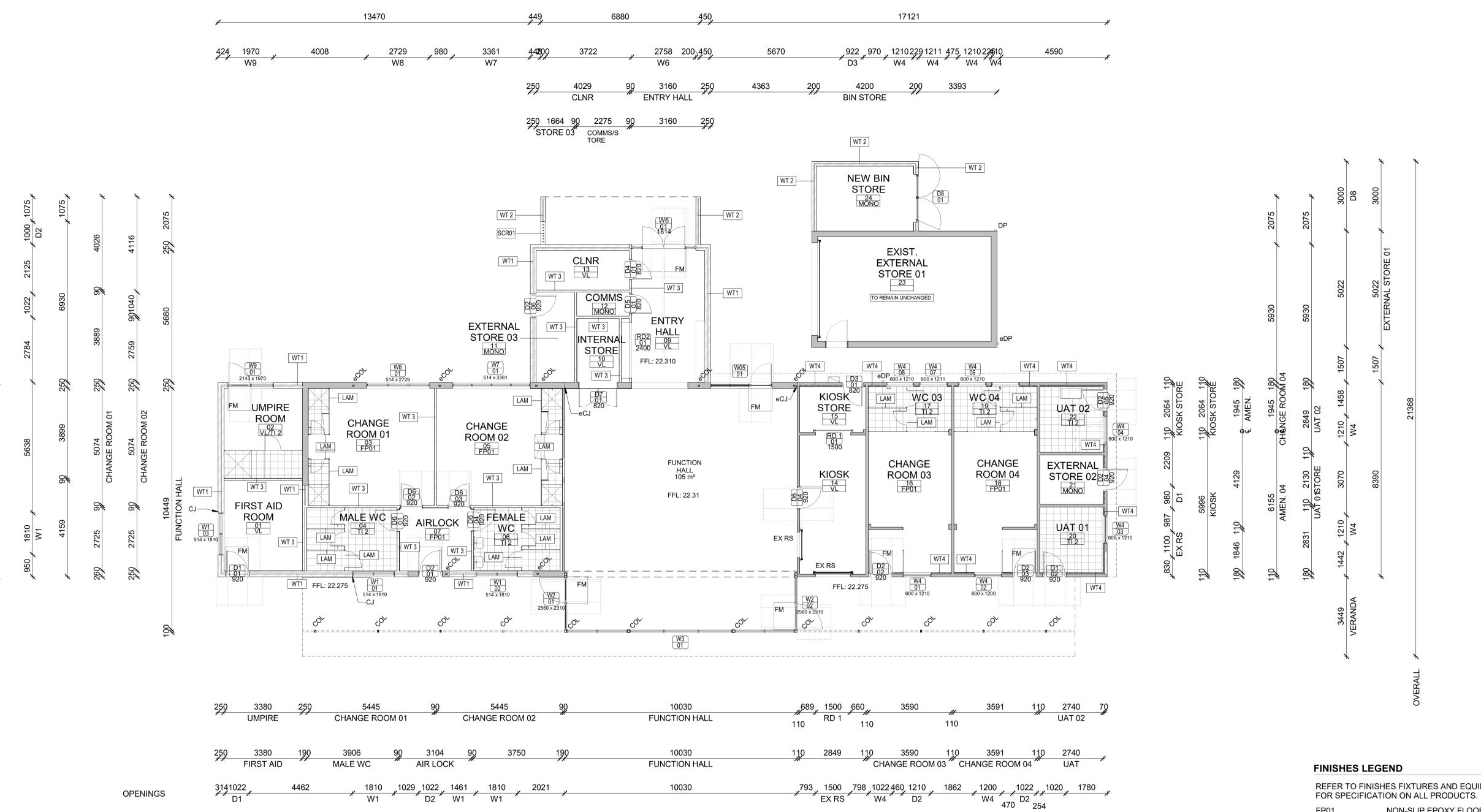
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Project Descripti Baskerville Pa)
Project Number	02226					
Drawing Title		S	са	le @ A3		Scale @
PROPOSED	SITE PLAN	1	:	500		1:2
Chk GP	Dwg Coordinated	d		Dwg	Director	Approval
Drawing Number	r			Da	te	ls
				16/08/2	23	
A-1002						







38370

DATE 02-Oct-2023

COLUMN VERANDAH

OVERALL

FILE 21-2641-2 LEGEND eCOL. EXISTING COLUMN REFER TO STRUCTURAL PLANS COL. NEW COLUMN REFER TO STRUCTURAL PLANS eX DP **EXISTING DOWNPIPE NEW DOWNPIPE** CJ NOMINAL CONTROL JOINT LOCATIONS TBC WITH BUILDER PRIOR TO CONSTRUCTION

REFER TO FINISHES FIXTURES AND EQUIPMENT SCHEDULE

NON-SLIP EPOXY FLOOR PAINT AS SPECIFIED

TI 1 WALL TILES AS SPECIFIED

TI 2 FLOOR TILES AS SPECIFIED

MONO SEALED CONCRETE

VINYL

SCR01 POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'

PARTITION WALLS NEW 13mm COMPACT LAM

LAMINATE AS SPECIFIED

EXISTING WALL

WT1 - DOUBLE BRICK CAVITY WALL 250 110mm BRICK, 50mm CAVITY, 90mm BRICK

> INTERNAL FINISH: HWP, TI 1 EXTERNAL FINISH: PAINTED CONCRETE RENDER

WT2 - DOUBLE BRICK CAVITY WALL 20

INTERNAL FINISH: PAINTED CONCRETE RENDER

EXTERNAL FINISH: PAINTED CONCRETE RENDER

90mm BRICK, 20mm CAVITY, 90mm BRICK

WT3 - SINGLE LEAF BRICK WALL 90mm BRICK

WT4 - NEW LINING ON EXISTING SINGLE LEAF WALLS PAINTED FC SHEETING ON 70mm INSULATED FRAMED

WALL, 110MM EXISTING SINGLE LEAF BRICK

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16/08/23 DA ISSUE NO. DATE REVISION

City Of Swan

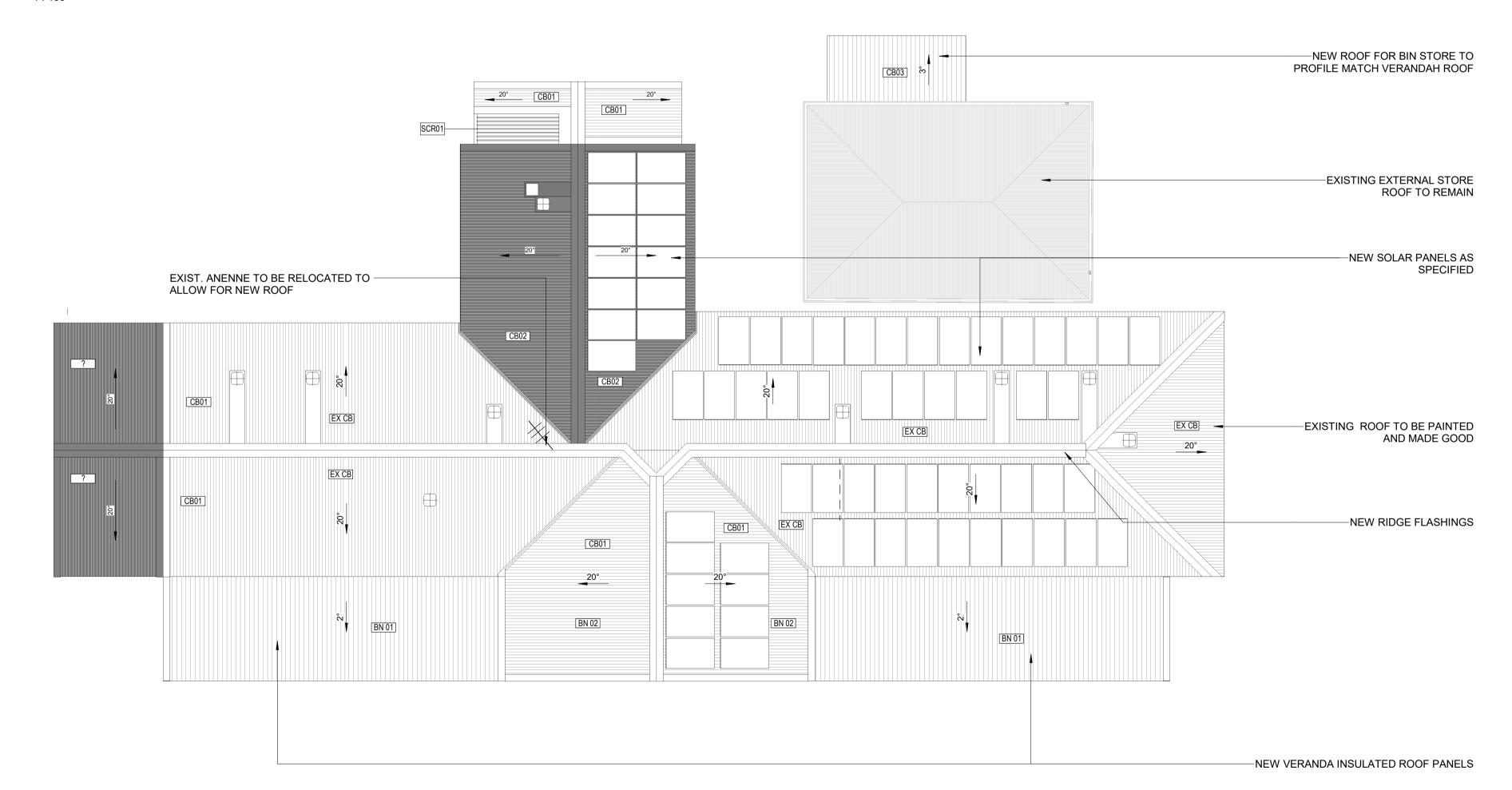
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Project Description Baskerville Pavillion

A-2002

Project Number 02226 Drawing Title Scale @ A3 Scale @ A1 SET OUT 1:100 1:200 Dwg Coordinated Chk Checker Dwg Director Approval 16/08/23



2 A-2101 PROPOSED ROOF PLAN 1:100

ROOF PLAN LEGEND & NOTES

 \sqcup DEMOLITION TO EXTENT SHOWN

EXISTING ROOR SHEETING PAINTED 'SURFMIST'

CB01 COSTOM ORB ROOF SHEETINGFINISH DULUX

CB02 COSTOM ORB ROOF SHEETING FINISH DULUX

CB03 ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX 'SURFMIST'

SOLAR SPAN INSULATED ROOF PANEL

INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST

PROPOSED LOCATION FOR SOLAR PANELS

POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT' SCR01

NEW AIR VENT COWLS & COLORBOND UPSTAND APRON & DRY PAN FLASHING REFER TO

MECHANICAL DRAWINGS

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DEPARTMENT OF PLANNING, LANDS AND HERITAGE

DATE 02-Oct-2023

FILE 21-2641-2 City Of Swan

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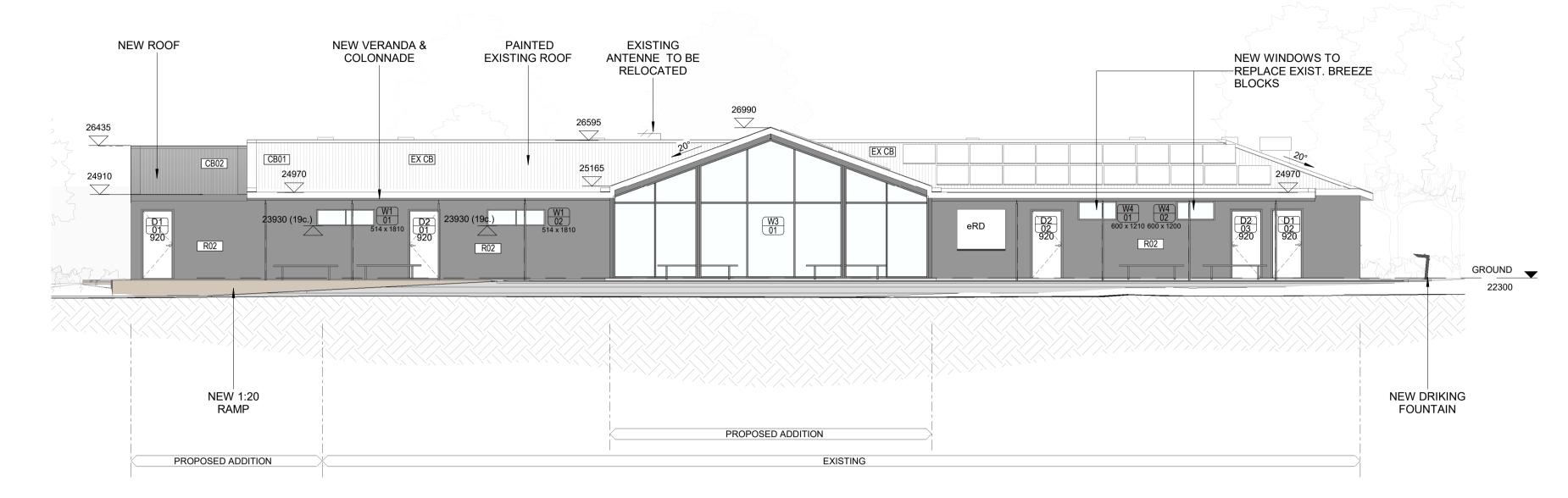
Project Description Baskerville Pavillion

Project Number 02226 Scale @ A1 1: 100 Drawing Title Scale @ A3 ROOF PLAN 1:200 Chk Checker **Dwg Director Approval**

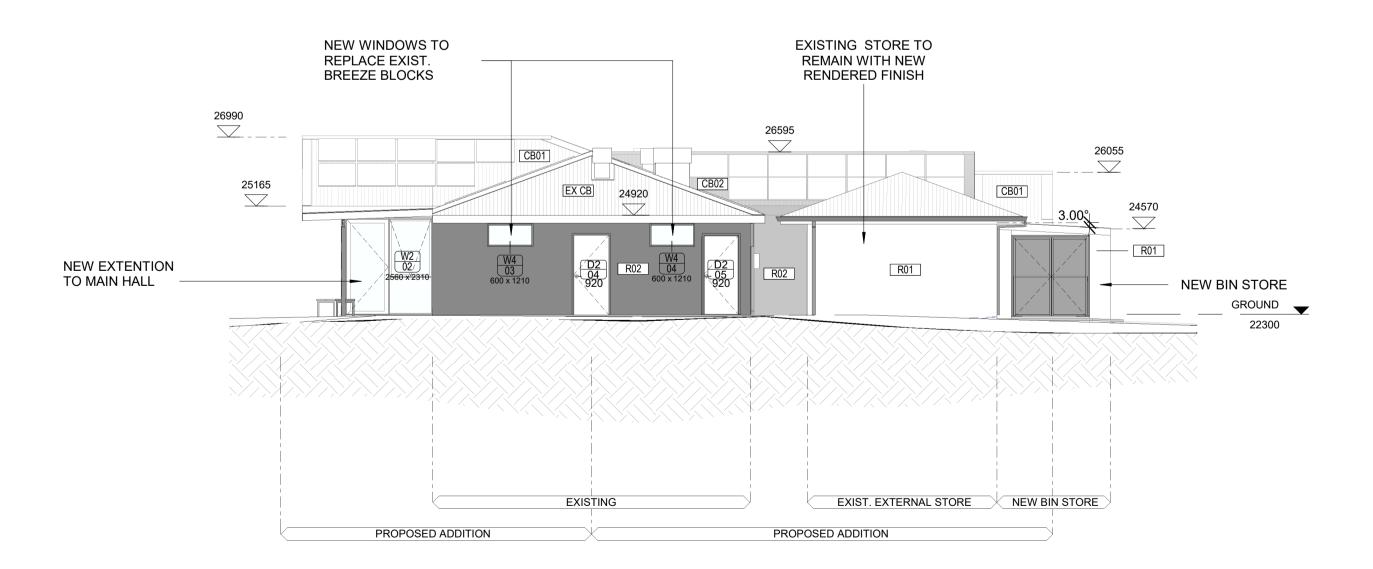
16/08/23

DATE 02-Oct-2023

FILE 21-2641-2



2 EAST ELEVATION 1:100



1) NORTH ELEVATION 1:100

FINISHES LEGEND

REFER TO FINISHES FIXTURES AND EQUIPMENT SCHEDULE FOR SPECIFICATION ON ALL PRODUCTS.

- R01 CEMENT RENDER PAINTED DULUX 'SURFMIST'
- PAINTED CEMENT RENDER PAINTED DULUX 'BASALT'
- EX CB EXISTING ROOR SHEETING PAINTED 'SURFMIST'
- COSTOM ORB ROOF SHEETINGFINISH DULUX 'SIRFMIST'
- CB02 COSTOM ORB ROOF SHEETING FINISH DULUX 'BASALT'
- ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX
- SOLAR SPAN INSULATED ROOF PANEL
- BN02 INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST
- POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'

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1 16/08/23 DA ISSUE NO. DATE REVISION City Of Swan DA ISSUE MAISE **ARCHITECTURE** a: L1, 20 clive street west perth wa 6005 w: maine.com.au e: info@maine.com.au p: (08) 9467 9500 abn: 29 167 319 182 © 2018. This drawing and design are copyright and the property of Maine Architecture and must not be retained, copied or used without an expressed written authority.

Project Description Baskerville Pavillion

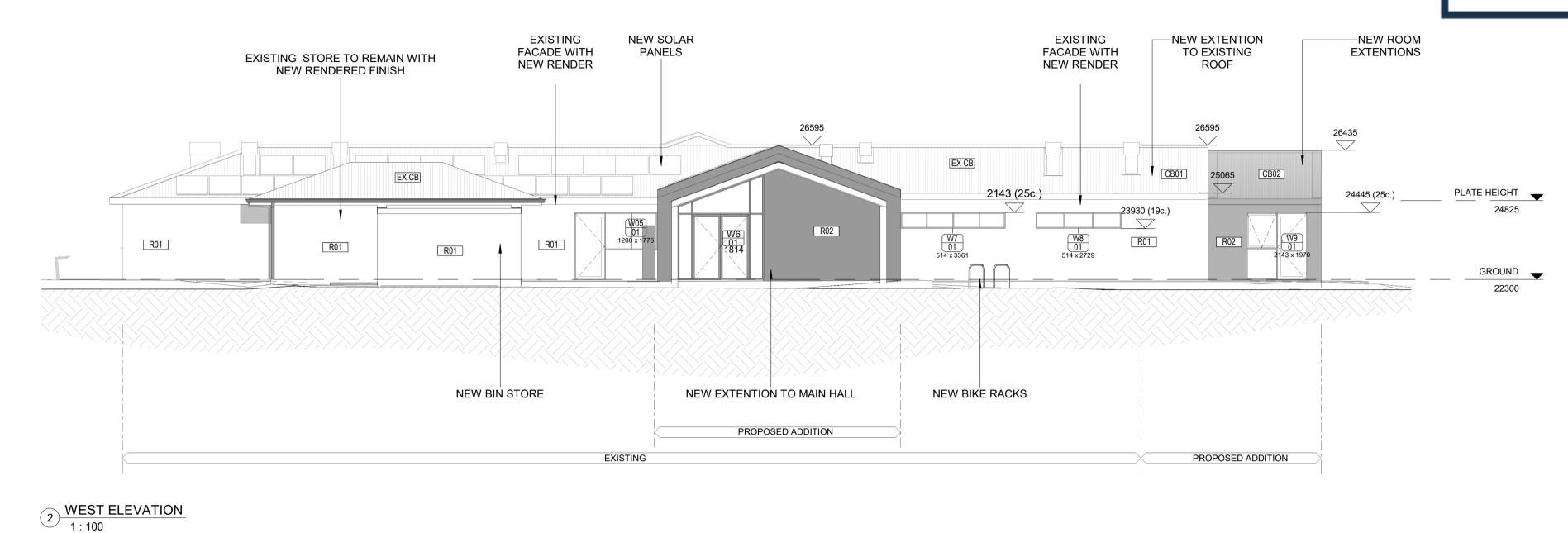
Project Number 02226 Drawing Title Scale @ A3 Scale @ A1 ELEVATION 1:200

Chk Checker Dwg Coordinated **Dwg Director Approval** 16/08/23



DATE 02-0ct-2023 FILE **21-2641-2**

02-Oct-2023



NEW FEATURE ENTRY EXTENSION

26595

26055

26055

2607

26007

PLATE HEIGHT

24825

GROUND

22300

NEW ROOM
EXTENTIONS

NEW EXTENTION TO
MAIN HALL

PROPOSED ADDITION

PROPOSED ADDITION

1 SOUTH ELEVATION 1:100

FINISHES LEGEND

REFER TO FINISHES FIXTURES AND EQUIPMENT SCHEDULE FOR SPECIFICATION ON ALL PRODUCTS.

- R01 CEMENT RENDER PAINTED DULUX 'SURFMIST'
- R02 PAINTED CEMENT RENDER PAINTED DULUX 'BASALT'
- EX CB EXISTING ROOR SHEETING PAINTED 'SURFMIST'
- CB02 COSTOM ORB ROOF SHEETING FINISH DULUX 'BASALT'

COSTOM ORB ROOF SHEETINGFINISH DULUX 'SIRFMIST'

- CB03 ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX
- 'SURFMIST'
- BN01 SOLAR SPAN INSULATED ROOF PANEL
- BN02 INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST
- R01
 POWDER COATED 50x100 RHS (@200 CTRS) FEATURE
 SCREEN. FINISH DULUX 'BASALT'

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Status
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Project Description
Baskerville Pavillion

Project Number 02226

Drawing Title Scale @ A3 Scale @ A1

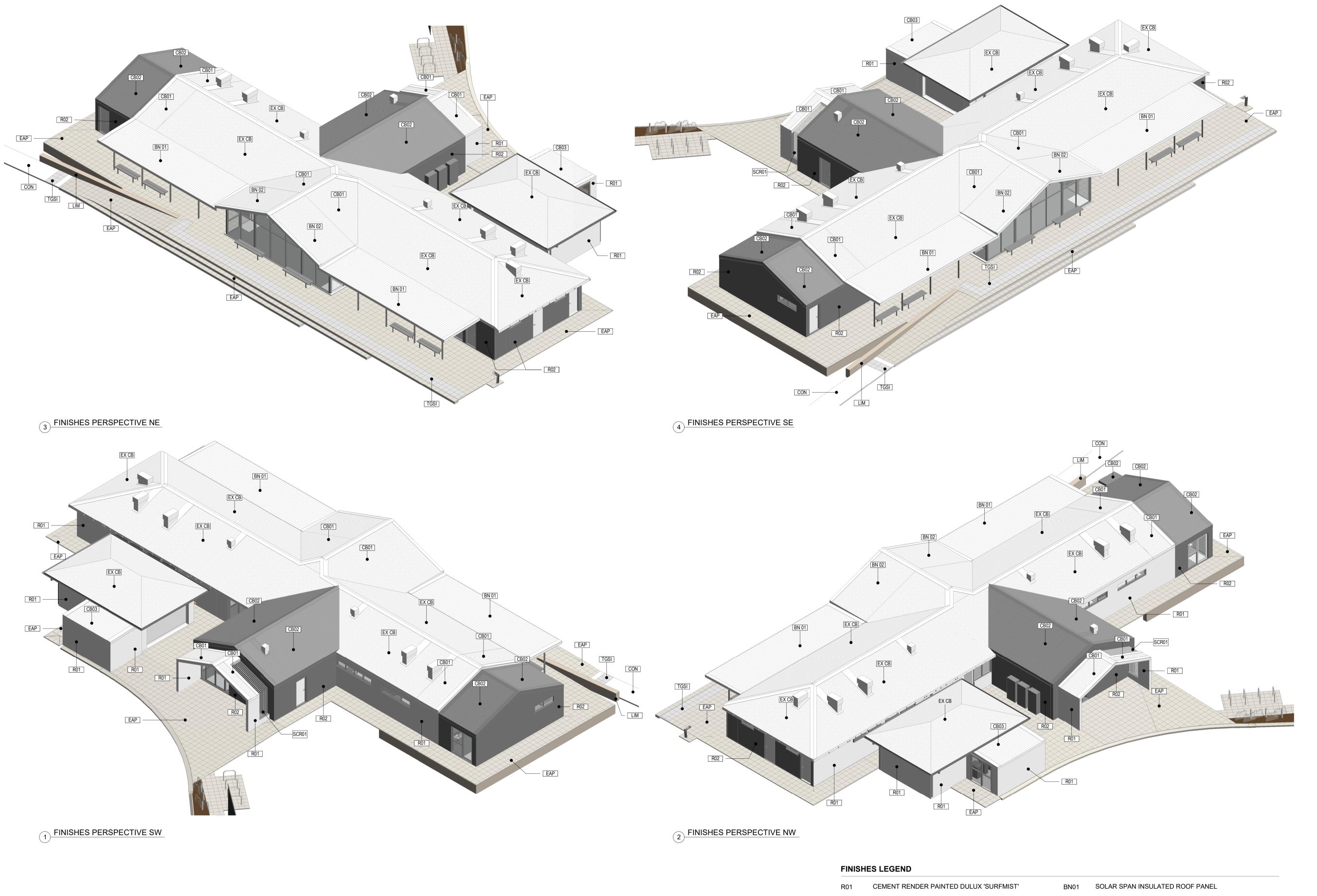
ELEVATION 1:200 1:100

Chk GP Dwg Coordinated Dwg Director Approval

Drawing Number Date 16/08/23

A-3001

-5001



DATE 02-Oct-2023

FILE 21-2641-2

R01	CEMENT RENDER PAINTED DULUX 'SURFMIST'	BN01	SOLAR SPAN INSULATED ROOF PANEL
R02	PAINTED CEMENT RENDER PAINTED DULUX 'BASALT'	BN02	INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST
EX CB	EXISTING ROOR SHEETING PAINTED 'SURFMIST'	EAP	EXPOSED AGGREGATE PAVERS
CB04	COSTOM ORB ROOF SHEETINGFINISH DULUX 'SIRFMIST'	LIM	LIMESTONE RETAINING WALL
CB01	COSTOM ORB ROOF SHEETINGFINISH DULUX SIRFMIST	CON	CONCRETE PATH
CB02	COSTOM ORB ROOF SHEETING FINISH DULUX 'BASALT'	SCR01	DOWNED COATED 50×100 PHS (@200 CTPS) EEATURE
CB03	ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX 'SURFMIST'		POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'

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Project Description Baskerville Pavillion

Project Number 02226 Scale @ A1 1: 100 Scale @ A3 MATERIALS & FINISHES 1:200 Chk KM **Dwg Director Approval**

16/08/23

CLIENT

CITY OF SWAN

2 MIDLAND SQUARE MIDLAND 6056

PROJECT

BASKERVILLE SPORTS PAVILION

STATUS

CONSTRUCTION DOCUMENTATION

LOCATION PLAN



DRAWING REGISTER

DRAWING LIST					
SHEET NUMBER	SHEET NAME	SIZE	REVISION NUMBER	STATUS	
230518-00-L000	COVER PAGE, LOCATION AND DRAWING REGISTER	ISO A1	А	CONSTRUCTION DOCUMENTATION	
230518-00-L100	LEGEND PLAN	ISO A1	А	CONSTRUCTION DOCUMENTATION	
230518-00-L200	SURFACE FINISH PLAN	ISO A1	А	CONSTRUCTION DOCUMENTATION	
230518-00-L300	PLANTING PLAN	ISO A1	А	CONSTRUCTION DOCUMENTATION	

DEPARTMENT OF PLANNING, LANDS
AND HERITAGE

DATE FILE **02-Oct-2023 21-2641-2**

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specifications and details. Should a conflict exist, advice and direction should be sought from REALMstudios prior to undertaking any construction works. All levels shown are in metres Australian height datum, and dimensions in millimetres unless otherwise noted.

All information relating to architectural, civil, structural, services and other works as

represented on this drawing as prepared by REALMstudios is for REALMstudios' reference and coordination purposes only. All documentation to these and other works outside the scope defined for REALMstudios should be referred to the relevant consultants' drawings and specification for details. This drawing is confidential and shall only be used for the purposes of this project.

CERTIFICATION

This drawing shall not be used for construction purposes unless Revised 0 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or order materials. Refer any discrepancy to Landscape Architect before proceeding with the works.

DO NOT SCALE FROM THE DRAWING

WARNII



Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work

DATE	REV	AMENDMENTS
27/07/23	A	FOR PRE TENDER ESTIMATE
	_	
	-	
	-	
	_	

REALM studios

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:NT

CITY OF SWAN

2 MIDLAND SQUARE MIDLAND 6056

PPO JECT

BASKERVILLE SPORTS PAVILION

DRAWING

COVER PAGE, LOCATION AND DRAWING REGISTER

DICATOR	CHECKED	JOALL & A		
JP	DP	1:100		

STATUS

CONSTRUCTION DOCUMENTATION

DRAWING NO.	REVISION

230518-00-L000

LEGEND

	SITE BOUNDARY
	EXTENT OF WORKS
	BUILDING OVER
	AGRICULTURAL LINE (SUBSOIL DRAIN)
[AL]	
	EXISTING TREE TO BE RETAINED SHOWING CRITICAL ROOT ZONE (CRZ). REFER TO SPECIFICATION FOR
	PROTECTION REQUIRED FOR DURATION OF THE
	WORKS AND PERMISSIBLE WORKS WITHIN THE CRZ.
	EXISTING TREES OUTSIDE SCOPE OR WORKS
	PROPOSED TREES
SOFTWO	RK FINISHES
V1	GARDEN BED
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	TURF
TF	
	PLANTING MIX 1 - RAINGARDEN DEPRESSION REFER TO PLANTING PLAN AND SCHEDULE
	DRAWING 230518-00-L300
1+11+	PLANTING MIX 2
1+1+1	REFER TO PLANTING PLAN AND SCHEDULE DRAWING 230518-00-L300
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GENERAL NOTES

GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENT.
- 2. ALL DIMENSIONS ON PLANS ARE IN METERS, DETAIL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE
- 3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, SCHEDULES, REPORTS AND DRAWINGS.
- 4. ALL DIMENSIONS, LEVELS AND EXISTING SERVICES SHALL BE VERIFIED BY CONTRACTOR AND SUB-CONTRACTORS ON SITE PRIOR TO COMMENCEMENT ON SITE, DURING THE PREPARATION OF SHOP DRAWINGS AND FABRICATION OF CONSTRUCTION COMPONENTS. NOTIFY SUPERINTENDENT OF ANY DISCREPANCIES.
- 5. SETOUT TO BE UNDERTAKEN BY A LICENSED SURVEYOR. CAD FILES WILL BE AVAILABLE ON REQUEST TO THE SUPERINTENDENT.
- 6. FOR ALL ROAD CONSTRUCTION INFORMATION, PAVEMENTS, JOINTS, KERBING AND ASSOCIATED REINFORCING, SUBGRADE PREPARATION AND ROAD FINISHED LEVELS REFER TO CIVIL DOCUMENTATION.
- 7. FOR ALL STREET AND FEATURE LIGHTING REFER TO ELECTRICAL ENGINEER'S DOCUMENTATION.
- 8. FOR ALL IRRIGATION DEMOLITION AND CONSTRUCTION INFORMATION REFER TO IRRIGATION DOCUMENTATION AND SPECIFICATION.
- 9. CONTRACTOR TO HAND EXCAVATE ROOT LOCATION OF EXISTING TREES AND DEVELOP STRUCTURAL SOLUTION TO PILE FOOTING AND SPANNING.

GRADING:

- 1. 1. REFER TO CIVIL ENGINEER DOCUMENTATION FOR GRADING AND EARTHWORKS.
- 2. REFER TO DETAILS FOR IMPORTED SUB-BASE / SOIL PROFILE REQUIREMENTS.
- 3. GRADE AREAS THROUGHOUT TO TRUE AND EVEN GRADES AND FALLS TO THE CONTOURS INDICATED ON THE DRAWINGS. FINISH GRADES FLUSH WITH ADJOINING PAVEMENTS AND KERBS EXCEPT WHERE OTHERWISE INDICATED ON THE DRAWINGS.
- 4. GRADE TO PROVIDE EVEN FALLS SO THAT THE SURFACE IS CONSTANTLY SELF-DRAINING. NO IRREGULARITIES, DEPRESSIONS OR ABRUPT CHANGES IN GRADES OR FALLS WILL BE ACCEPTED.

EXISTING TREES (RETAINED):

- 1. EXISTING TREES SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE WITH EXISTING GRADE.
- 2. NO CONSTRUCTION EQUIPMENT OR MOTORISED VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION ZONE AND ALL TREE PROTECTION ZONES MUST REMAIN UNDISTURBED AT ALL TIMES AS PER AUSTRALIAN STANDARD AS4970.
- 3. ANY BACKFILLING OR TOPSOIL / STORAGE OF MATERIALS MUST REMAIN OUTSIDE THE LIMITS OF THE
- TREE PROTECTION ZONE. 4. ANY ROOTS OR BRANCHES THAT EXTEND BEYOND THE TREE PROTECTION ZONE, WHICH REQUIRE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST IN ACCORDANCE WITH GOOD ARBORICULTURE PRACTICES.
- 5. NORFOLK ISLAND PINE TREES MUST HAVE LOWER BRANCHES PRUNED TO HEIGHT SPECIFIED BY A QUALIFIED ARBORIST IN ACCORDANCE WITH GOOD ARBORICULTURE PRACTICES. REFER TO DOCUMENTATION.
- 6. PROVIDE OR MAINTAIN (IF IN PLACE) IRRIGATION TO EXISTING TREES DURING CONSTRUCTION PHASE.
- 7. ALL EXISTING TREES, THAT ARE DESIGNATED TO BE RETAINED, MUST BE FULLY PROTECTED WITH TREE PROTECTION FENCING ERECTED BEYOND THE DRIP LINE. FENCING MUST REMAIN IN PLACE FOR THE FULL DURATION OF ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH AS 4970--2009 PROTECTION OF TREES ON DEVELOPMENT SITES.
- 8. CONTRACTOR TO ENSURE STRUCTURAL ELEMENT FOOTING SETOUT APPROVED ONSITE PRIOR TO EXCAVATION OF TRENCHES BY SUPERINTENDENT.
- 9. ANY WORK IN TREE PROTECTION ZONE (TPZ) TO NOT BE COMMENCED UNTIL SUPERINTENDENT AND ARBORIST ON SITE TO APPROVE WORK.

- 1. THE FINAL LOCATION AND ORIENTATION OF PIT LIDS TO BE CONFIRMED BY SUPERINTENDENT PRIOR TO INSTALLATION.
- 2. ALL PIT LIDS TO BE SET SQUARE TO LANDSCAPE GEOMETRY AND ELEMENTS.
 - 3. REFER TO LANDSCAPE FINISHES PLANS & LANDSCAPE MATERIAL SCHEDULE FOR SURFACE TYPES TO INFILL TO
 - 4. PIT LID DETAILS ARE PROVIDED TO SHOW LID INFILL AND EDGE SURROUND REQUIREMENTS ONLY. REFER TO SERVICES ENGINEERS' AND CIVIL ENGINEER'S DOCUMENTATION FOR PIT DIMENSIONS AND FURTHER REQUIREMENTS.
 - 5. ALL PITS LOCATED IN PAVEMENTS TO HAVE INFILL COVER. INFILL TO MATCH ADJOINING PAVEMENT.
 - 6. ALL PIT LIDS IN GARDEN BEDS SHALL HAVE DUCTILE IRON LIDS. ALL CONCRETE SURROUNDS SHALL BE SUBSURFACE AND CONCEALED BELOW GARDEN MULCH LEVEL.
 - 7. ALL PIT LIDS SHALL BE INSTALLED TO MEET FINISHED LEVELS AND CROSS-FALLS, REFER TO CIVIL ENGINEER'S
 - 8. REFER TO CIVIL, ELECTRICAL AND MECHANICAL ENGINEER'S DOCUMENTATION FOR PIT LID REQUIREMENTS IN ROAD WAYS.
 - 9. SEWER PIT LIDS TO COMPLY WITH WATER CORPORATION REQUIREMENTS. REFER TO CIVIL DESIGN
 - 10. PIT LID CONCRETE INFILL SUBSTRATE TO BE LIGHTWEIGHT CONCRETE.
 - 11. IT IS THE RESPONSIBILITY OF THE HEAD CONTRACTOR TO ENSURE THAT PIT LID INFILL REQUIREMENTS ARE ACHIEVED WITH A CONSISTENCY OF FINISH ACROSS THE ENTIRE PROJECT.

SURFACE FINISHES:

- 1. CONTRACTOR TO SET OUT ALL HARD LANDSCAPE ELEMENTS AND VERIFY WITH SUPERINTENDENT PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS TO BE REPORTED IMMEDIATELY.
- CONTRACTOR TO INSTALL EXPANSION JOINTS AS DOCUMENTED WHERE PAVEMENT MEETS VERTICAL STRUCTURES SUCH AS WALLS, KERBS, STEPS, FURNITURE, LIGHTING AND BUILDING ELEMENTS
- WHERE NOT DOCUMENTED. 3. ALL UNRESTRAINED PAVING EDGES TO HAVE
- CONCEALED CONCRETE HAUNCH AS DOCUMENTED CLOSURE RULE: WHEREVER THE END OF A PAVING RUN WOULD RESULT IN A PAVERS LESS THAN 1/3 FULL SIZE, CUT 2 PAVERS IN EQUAL LENGTHS TO CLOSE OUT THE
- 5. ALL PEDESTRIAN TRAFFICABLE SURFACES ARE TO
- COMPLY WITH AS1428.1 FOR VERTICAL TOLERANCES. ALL PAVEMENT TO COMPLY WITH AS/NZS 4586 & 4663 7. WHERE SERVICE RUNS ARE REQUIRED THROUGH
- EXISTING HARD AND SOFT LANDSCAPE, FINISHES ARE TO BE MADE GOOD AT COMPLETION OF WORKS TO MATCH EXISTING.
- 8. SUB BASE REFER TO CIVIL ENGINEER FOR SUB BASE DETAILS.
- 9. KERBING REFER TO CIVIL DRAWINGS AND SPECS FOR ALL KERBING DETAILS.
- 10. ASPHALT- REFER TO CIVIL DRAWINGS AND SPECS FOR TYPICAL DETAILS AND SUB-BASE PROFILE.

- ENSURE THAT ALL FURNITURE IS STABLE, SAFE, CLEAN AND FIT FOR USE.
- 2. ALL FURNITURE SHALL BE INSTALLED PLUMB AND LEVEL UNLESS SPECIFIED OTHERWISE.
- 3. ALL FIXINGS, CONDUITS AND FOUNDATIONS TO BE CONCEALED AND VANDAL RESISTANT.
- 4. FURNITURE TO BE MANUFACTURED IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS TO WHICH STREET FURNITURE MANUFACTURING MUST COMPLY.
- 5. THE CONTRACTOR MUST ENSURE THAT ALL ITEMS OF FURNITURE ARE PROTECTED FROM DAMAGE DURING HANDLING, TRANSPORTATION, INSTALLATION AND FOR THE DURATION OF THE WORKS.
- 6. FULL SHOP DRAWINGS ARE TO BE PROVIDED FOR CUSTOM FURNITURE FOR APPROVAL BY SUPERINTENDENT AND STRUCTURAL / CIVIL ENGINEER BEFORE MANUFACTURE AND INSTALLATION OF ELEMENTS.
- 7. SHOP DRAWINGS TO INCLUDE A 3D DIGITAL MODEL SHOWING ALL MATERIAL INTERFACES, JOINTS, JUNCTIONS AND TIMBER SIZES.
- 8. SHOP DRAWINGS TO INDICATE LOCATION OF WELDED JOINS. WELDED JOINTS TO BE FABRICATED WITH LASER CUT SEAMS, FULLY WELDED AND GROUND BACK TO SMOOTH.
- 9. WHERE FIXINGS TYPES OR STRUCTURAL SPACINGS HAVE NOT BEEN NOMINATED CONTRACTOR TO ENSURE THAT AN ENGINEER HAS APPROVED ANY SIZINGS AND SPACINGS INSTALLED.
- 10. CONTRACTOR TO SUPPLY AND INSTALL ALL SCREWS, BOLTS, NUTS, WASHERS, HINGES, LOCKS AND FIXINGS REQUIRED.
- 11. ARCHITECTURAL STEEL PANELS TO BE FABRICATED AFTER GRADING/PAVING WORKS HAVE BEEN COMPLETED. SITE MEASURE AND TEMPLATES ARE TO BE PREPARED & APPROVED BY SUPERINTENDENT.
- 12. ALL HARDWOOD TIMBER TO BE SUPPLIED AND INSTALLED AS DURABLE CLASS 1 UNLESS OTHERWISE STATED IN THE SPECIFICATION.
- 13. ALL TIMBER CONNECTIONS TO BE MITRE JOINTS UNLESS OTHERWISE SPECIFIED.

PLANTING:

SPECIFIED.

- 1. REFER TO PLANTING SCHEDULE FOR SPECIES.
- 2. EXACT LOCATIONS OF PLANT MATERIALS SHALL BE REVIEWED BY THE SUPERINTENDENT PRIOR TO INSTALLATION. THE SUPERINTENDENT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATIONS IN THE FIELD.
- CONTRACTOR TO ENSURE ALL TREES TO BE PLANTED 1M FROM KERB OR FOOTPATH AND 1.5M FROM CROSS
- 4. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL
- PRIOR TO INSTALLATION. 5. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIAL WITHIN EACH SPECIES AND SIZE
- NOMINATED. 6. FINISHED SURFACE LEVEL OF PLANTING AREAS TO BE SET 50MM BELOW PAVING OR TOP OF WALL LEVELS
- UNLESS NOTED OTHERWISE. 7. SUPERINTENDENT TO REVIEW ALL PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPH PRIOR TO DIGGING AND
- DELIVERY TO SITE. 8. PRIOR TO INSTALLATION OF PLANTING AND IRRIGATION CONTRACTOR TO PREPARE SOIL AS

DEPARTMENT OF PLANNING, LANDS AND HERITAGE

FILE

21-2641-2

DATE

02-Oct-2023

This drawing should be read in conjunction with REALMstudios PTY LTD prepared specifications and details. Should a conflict exist, advice and direction should be sought from REALMstudios prior to undertaking any construction works. All levels shown are in metres Australian height datum, and dimensions in millimetres unless otherwise noted.

All information relating to architectural, civil, structural, services and other works as represented on this drawing as prepared by REALMstudios is for REALMstudios' reference and coordination purposes only. All documentation to these and other works outside the scope defined for REALMstudios should be referred to the relevant consultants' drawings and specification for details. This drawing is confidential and shall only be used for the

CERTIFICATION

purposes of this project

This drawing shall not be used for construction purposes unless Revised 0 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all Landscape Architect before proceeding with the works. DO NOT SCALE FROM THE DRAWING

WARNING



DATE REV AMENDMENTS

Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of

27/07/23 A	PRE TENDER ESTIMATE

1:100 @ A1 1:200 @ A3

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CLIENT

CITY OF SWAN 2 MIDLAND SQUARE

MIDLAND 6056

BASKERVILLE SPORTS PAVILION

DRAWING

LEGEND PLAN

DRAWN	CHECKED	SCALE @
JP	DP	1:100

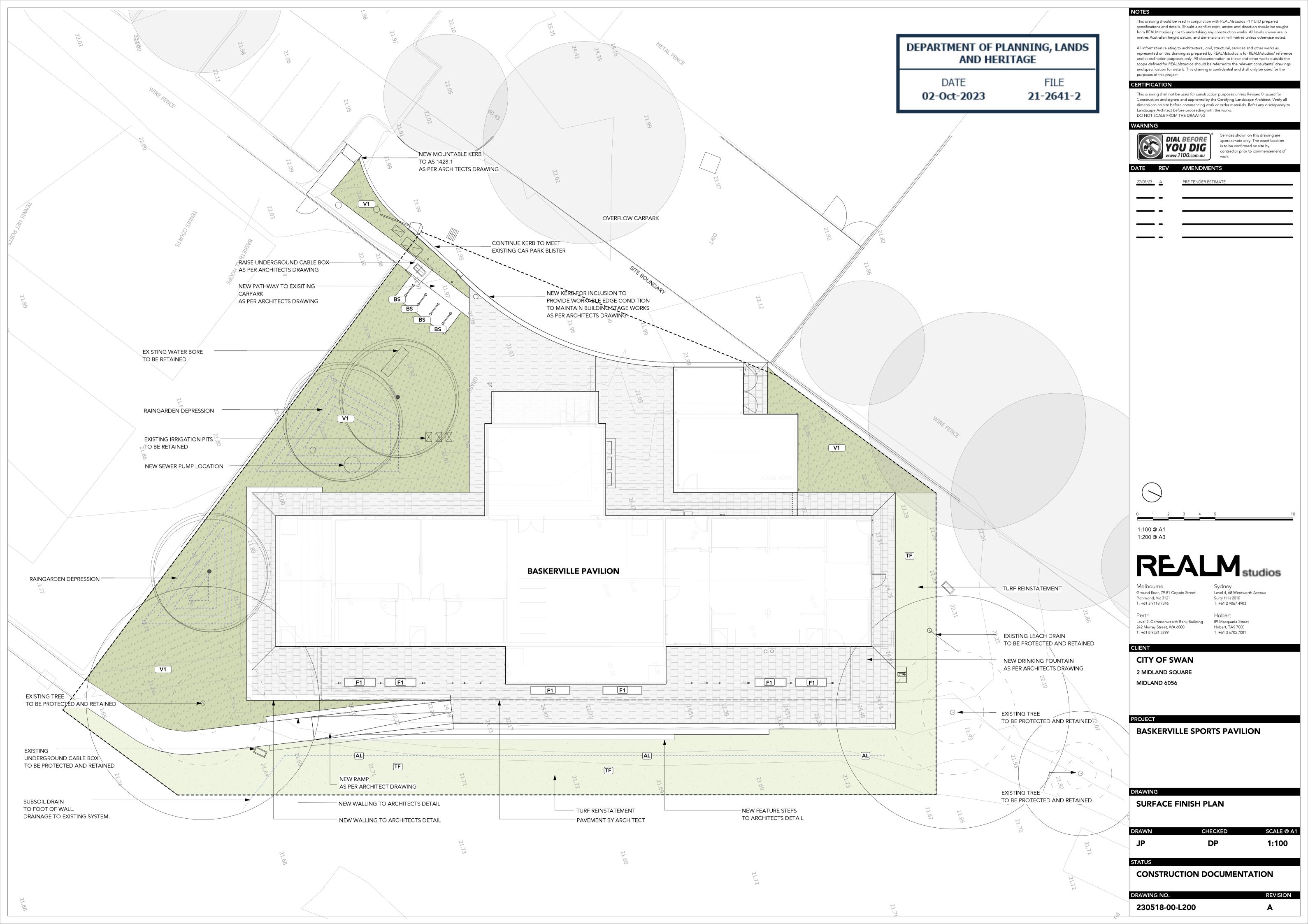
CONSTRUCTION DOCUMENTATION

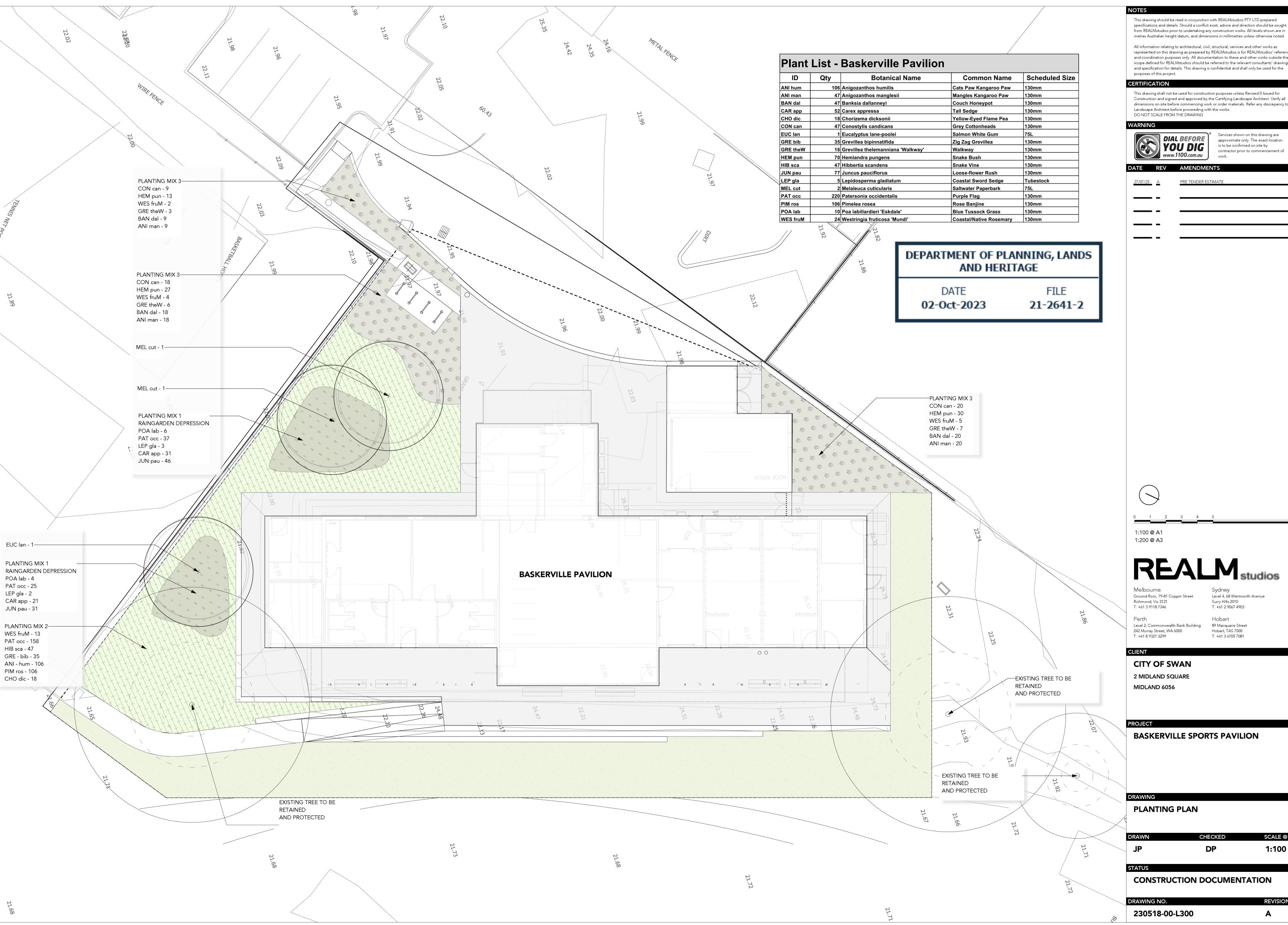
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REVISION





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> Services shown on this drawing are approximate only. The exact location is to be confirmed on site by

Level 4, 68 Wentworth Avenue

PRAWN	CHECKED	SCALE @ A1
JP	DP	1:100

REVISION