

BASKERVILLE PAVILION
CLUB UPGRADE CD ISSUE

DRAWING LIST

SHEET NUMBER	SHEET NAME	REVISION	DESCRIPTION	DATE
A-0000	COVER	1	DA ISSUE	16/08/23
A-1000	SURVEY	1	DA ISSUE	16/08/23
A-1001	EXISTING SITE PLAN	1	DA ISSUE	16/08/23
A-1002	PROPOSED SITE PLAN	1	DA ISSUE	16/08/23
A-2000	EXISTING FLOOR PLAN	1	DA ISSUE	16/08/23
A-2001	PROPOSED FLOOR PLAN	1	DA ISSUE	16/08/23
A-2002	SET OUT	1	DA ISSUE	16/08/23
A-2101	ROOF PLAN	1	DA ISSUE	16/08/23
A-3000	ELEVATION	1	DA ISSUE	16/08/23
A-3001	ELEVATION	1	DA ISSUE	16/08/23
A-4000	MATERIALS & FINISHES	1	DA ISSUE	16/08/23

DEPARTMENT OF PLANNING, LANDS
AND HERITAGE

DATE
02-Oct-2023

FILE
21-2641-2

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5. All work shall comply with the National Construction Code (NCC), Australian Standards and the requirements of state and local authorities.
6. All materials, fixtures, fittings and building components shall be installed in accordance with manufacturers' specifications and recommendations
7. Refer to A -000 for General Notes

General Notes

- All drawings to be read in conjunctions with the following:
- a. Structural, Electrical, Mechanical, Hydraulic & Landscape Drawings, Elect,
b. Specification
c. Finishes, Fixtures & Equipment Schedule
- Council Requirements:**
1. All development shall be contained within the property boundaries.
2. Solar panels and satellite dishes are not visible from the street

General Construction Notes:

1. All work shall comply with the current Building Code of Australia, relevant Australian Standards and the requirements of State and Local authorities.
2. All work shall be carried out by qualified building tradespersons.
3. All materials, fixtures, fittings and building components shall be supplied and installed in accordance with manufacturers specifications and recommendations.
4. The Builder and sub-consultants shall check that drawings and specifications comply with their requirements prior to the commencement of construction and placement of orders.
5. All concrete work is to comply with AS3600.
6. Brickwork and weatherproofing to masonry is to comply with AS3700.
7. Termite treatment shall be carried out in the form of hand-spraying under all new concrete slabs with approved termiticide, in accordance with AS3660.1 & BCA Part 3.1.4
8. Weepholes are to be formed with 'Weepa standard', installed to manufacturers instructions & in accordance with AS3700.
9. Waterproof membranes are to be installed in accordance with AS2870 and damp proof courses/flashings in accordance with AS2904 to form a continuous moisture and vapour barrier.
10. Waterproofing membraranes for external above ground use must comply with AS 4654.1 and AS 4654.2
10. ALL WATERPROOFING TO BE APPLIED BY A MANUFACTURER APPROVED AND CERTIFIED SPECIALIST INSTALLER. A MINIMUM 10 YEAR WARRANTY AND COMPLIANCE CERTIFICATE TO BE PROVIDED UPON COMPLETION.
11. All flashings to match adjacent wall or roof colour unless otherwise specified.
12. Allow to clean & seal all 'mono' concrete floors, paving & stone wall cappings with min. of 2 coats clear penetrating sealer.
13. All paint finishes shall incorporate a paint system as recommended by one of the following manufacturers: Dulux - Bristol - Taubmans - Wattyl. Paint system shall be a minimum of one sealer/primer coat plus two full strength top coats applied in accordance with AS2311
14. Bathrooms and wet areas are to be waterproofed and tiled in accordance with BCA Part 3.8 AS 3740, AS2358:1990 & AS3958. Floor tiles are to be laid to fall towards a trapped floor waste in each bathroom. MR plasterboard to all wet areas.
15. No climbable balustrade or fixed furniture over 4m in height.
16. Where anticon/sisilation joins are applicable, allow a 50mm overlap at joins, with the upper layer overlapping on the outside of the lower, taped with a 48mm reinforced foil tape. Application roll-out for this design profile is horizontal.
17. Roof framing to AS1684.
18. No untreated softwoods to be used.
- Glazing Notes:**
1. Window supplier to confirm window count, operation and details against plans and elevations. Any discrepancies to be discussed with architect/client.
2. All operable windows to include flyscreens unless noted otherwise
3. Draught seals to be included to all external windows and door frames unless noted otherwise.
- Finishes Notes:**
1. All finishes, fixtures and fittings to be as per Architectural specification and FF&E schedule unless otherwise noted.



1	16/08/23	DA ISSUE	TS
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Client
City Of Swan

Status
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Project Description
Baskerville Pavilion

Project Number 02226

Drawing Title	Scale @ A3	Scale @ A1
COVER		1 : 1

Chk GP	Dwg Coordinated	Dwg Director Approval
Drawing Number	Date	Issue
	16/08/23	

A-0000 1

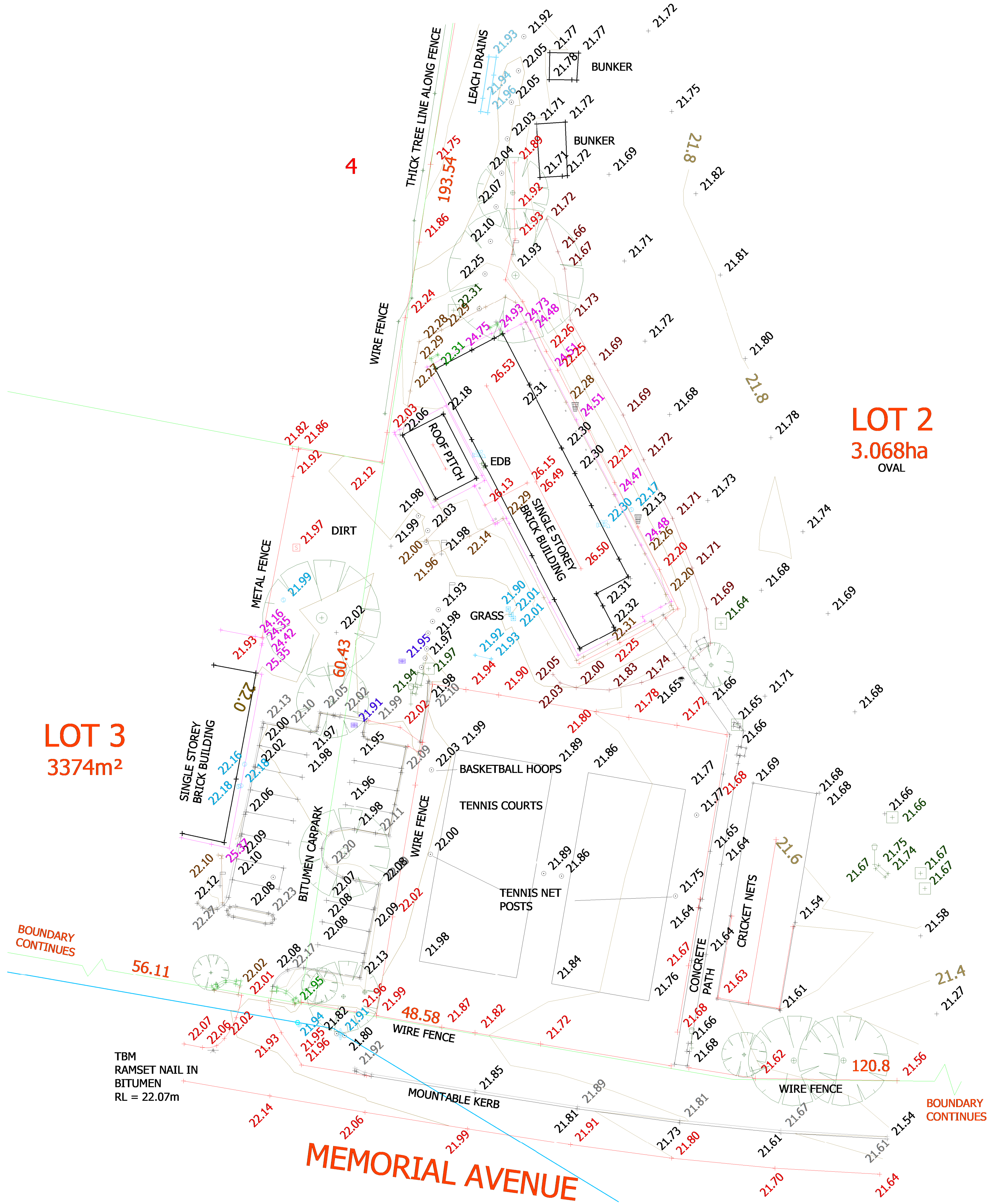
DEPARTMENT OF PLANNING, LANDS
AND HERITAGE

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LEGEND

BOUNDARY

ROAD CENTRE LINE

EDGE OF BITUMEN

BOTTOM OF KERB

TOP OF KERB

BUILDING

AWNING/OVERHANG

EAVES

SHED

BRICK WALL

TOP OF ROOF PITCH

FIBRE CEMENT FENCE

GATE

PAVING LINE

CONCRETE HARDSTAND

FOOTPATH (SLAB)

TREE/BUSH LINE

TOP OF BANK

BOTTOM OF BANK

MAJOR CONTOUR

MINOR CONTOUR

SOLID PAINTED LINE

PARKING LINE

WIRE FENCE

COLUMN

STOP VALVE

HYDRANT

WATER TAP

WATER METER

BORE

GRATE

SEWER MANHOLE

STREET LIGHT

UNDERGROUND CABLE BOX

POWER DOME

POWER TRANSFORMER

RUBBISH BIN

STREET SIGN

BOLLARD

DRINK FOUNTAIN

IRRIGATION BOX

SHRUB

TREE

TEMPORARY BENCH MARK

WATER CORPORATION EPLAN SERVICES:

WATER PIPE

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Project Description

Baskerville Pavillion

Project Number 02226

Drawing Title

SURVEY

Scale @ A3

Scale @ A1

As indicated

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Dwg Director Approval

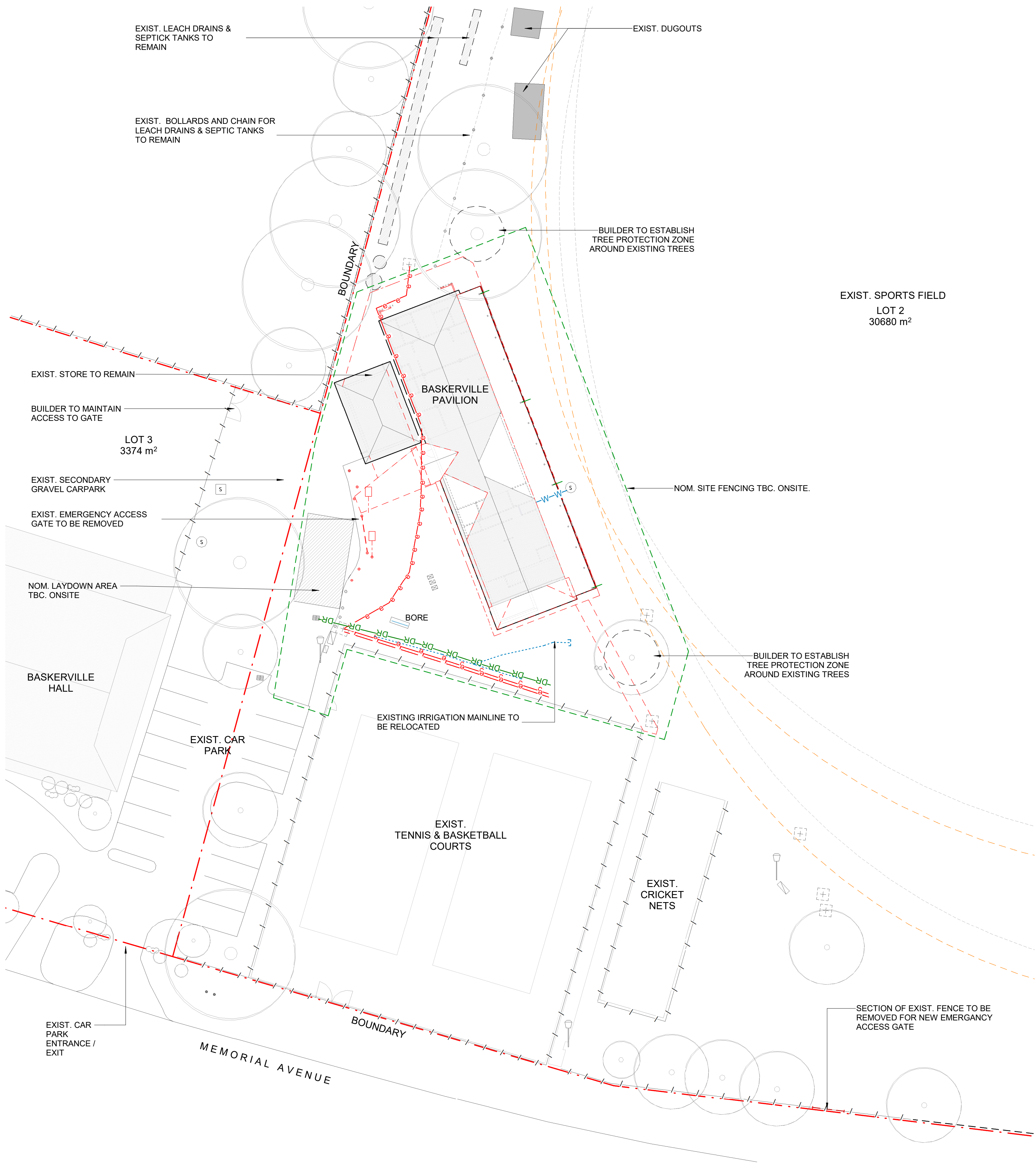
Drawing Number

Date

Issue

16/08/23

1



LEGEND

- EXIST. BOUNDARY
- EXIST. FENCE
- TO BE DEMOLISHED
- AREA OF WORKS
- END OF 3M SPORTS FIELD BOUNDARY CLEARANCE
- ELECTRICAL CABLE
- WATER PIPE
- DRAINAGE/ STORMWATER
- IRRIGATION MAIN LINE
- LAYDOWN AREA

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Project Description
Baskerville Pavillion

Project Number 02226

Drawing Title
EXISTING SITE PLAN

Scale @ A3
1 : 500

Scale @ A1
1 : 250

Chk GP	Dwg Coordinated	Dwg Director Approval
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	16/08/23	

A-1001

1

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LEGEND

- BOUNDARY
- EXIST. FENCE
- SCOPE OF WORKS
- EXISTING BUILDING TO REMAIN
- PROPOSED NEW BUILD

DEPARTMENT OF PLANNING, LANDS AND HERITAGE

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Project Description
Baskerville Pavillion

Project Number 02226
Drawing Title
PROPOSED SITE PLAN
Scale @ A3
1 : 500
Scale @ A1
1 : 250

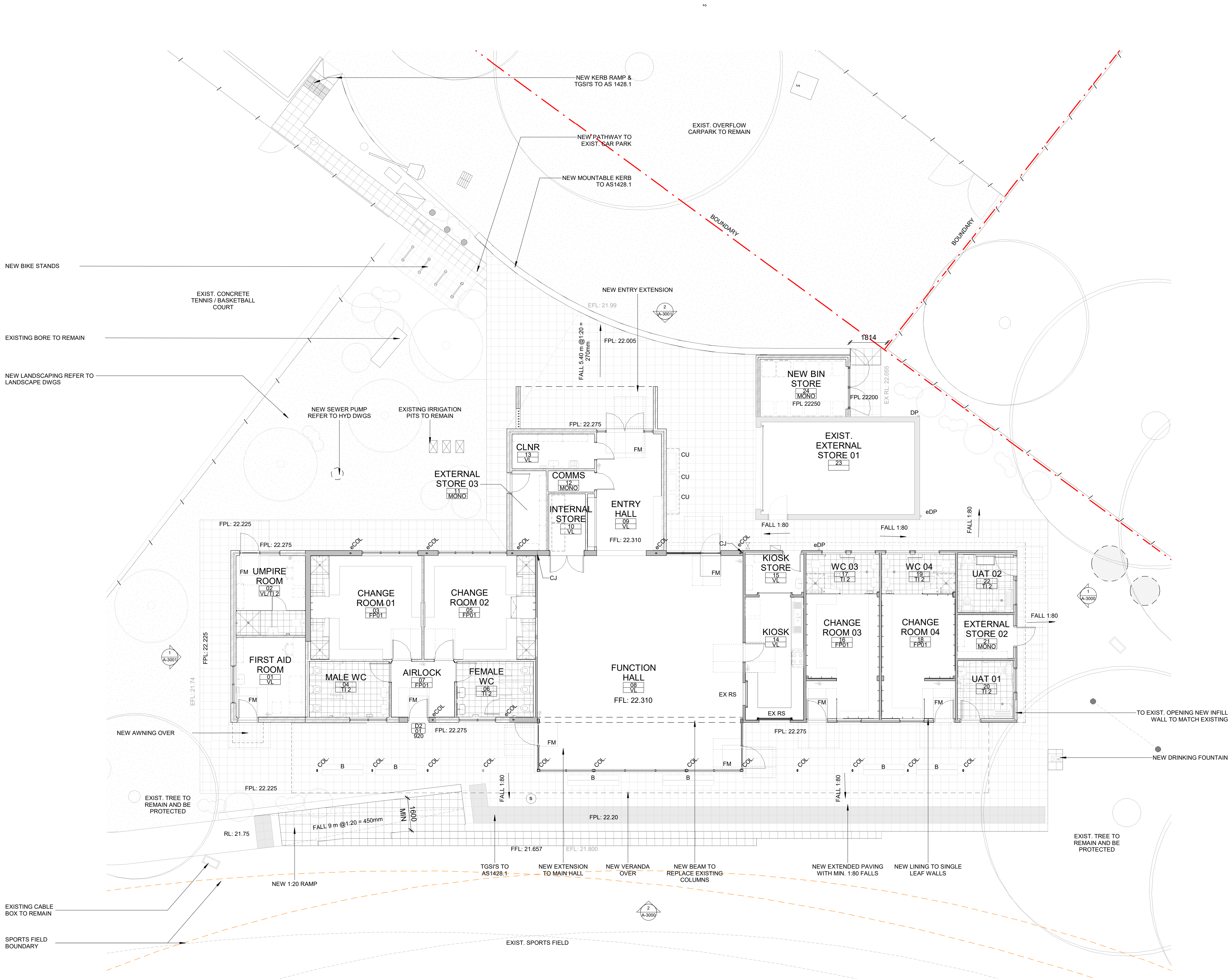
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Drawing Number	Date	Issue

A-1002
16/08/23
1





A-2000	1
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LEGEND	
---	EXIST. BOUNDRY
---	EXIST. FENCE
---	END OF 3M SPORTS FIELD BOUNDARY CLEARANCE
---	ROOFLINE ABOVE
---	LOOSE FURNITURE
COL	NEW COLUMN REFER TO STRUCTURAL PLANS
CJ	CONTROL JOINT
CU	NEW CONENSER UNITS IN LOCKABLE CAGES REF. MECH DWGS
eCOL	EXISTING COLUMN REFER TO STRUCTURAL PLANS
DP	NEW DOWNPIPE
EX RS	EXIST. ROLLER SHUTTER TO REMAIN
eDP	EXISTING DOWNPIPE
FM	NEW FLOOR MAT AS SPECIFIED
B	NEW BENCEH AS SPECIFIED

FINISHES LEGEND	
REFER TO FINISHES FIXTURES AND EQUIPMENT SCHEDULE FOR SPECIFICATION ON ALL PRODUCTS.	
FP01	NON-SLIP EPOXY FLOOR PAINT AS SPECIFIED
TI 1	WALL TILES AS SPECIFIED
TI 2	FLOOR TILES AS SPECIFIED
MONO	SEALED CONCRETE
VL	VINYL
SCR01	POWDER COATED ALUMINIUM FEATURE SCREEN
LAM	PARTITION WALLS NEW 13mm COMPACT LAMINATE AS SPECIFIED
---	EXISTING WALL

NOTES	
1.	ALL EXTERNAL DOORS TO BE PROVIDED WITH THRESHOLD RAMPS AS PER AS1428.1

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Project Description
Baskerville Pavillion

Project Number 02226

Drawing Title	Scale @ A3	Scale @ A1
PROPOSED FLOOR PLAN	1 : 200	1 : 100

Chk GP	Dwg Coordinated	Dwg Director Approval
Drawing Number	Date	Issue
	16/08/23	

A-2001

1

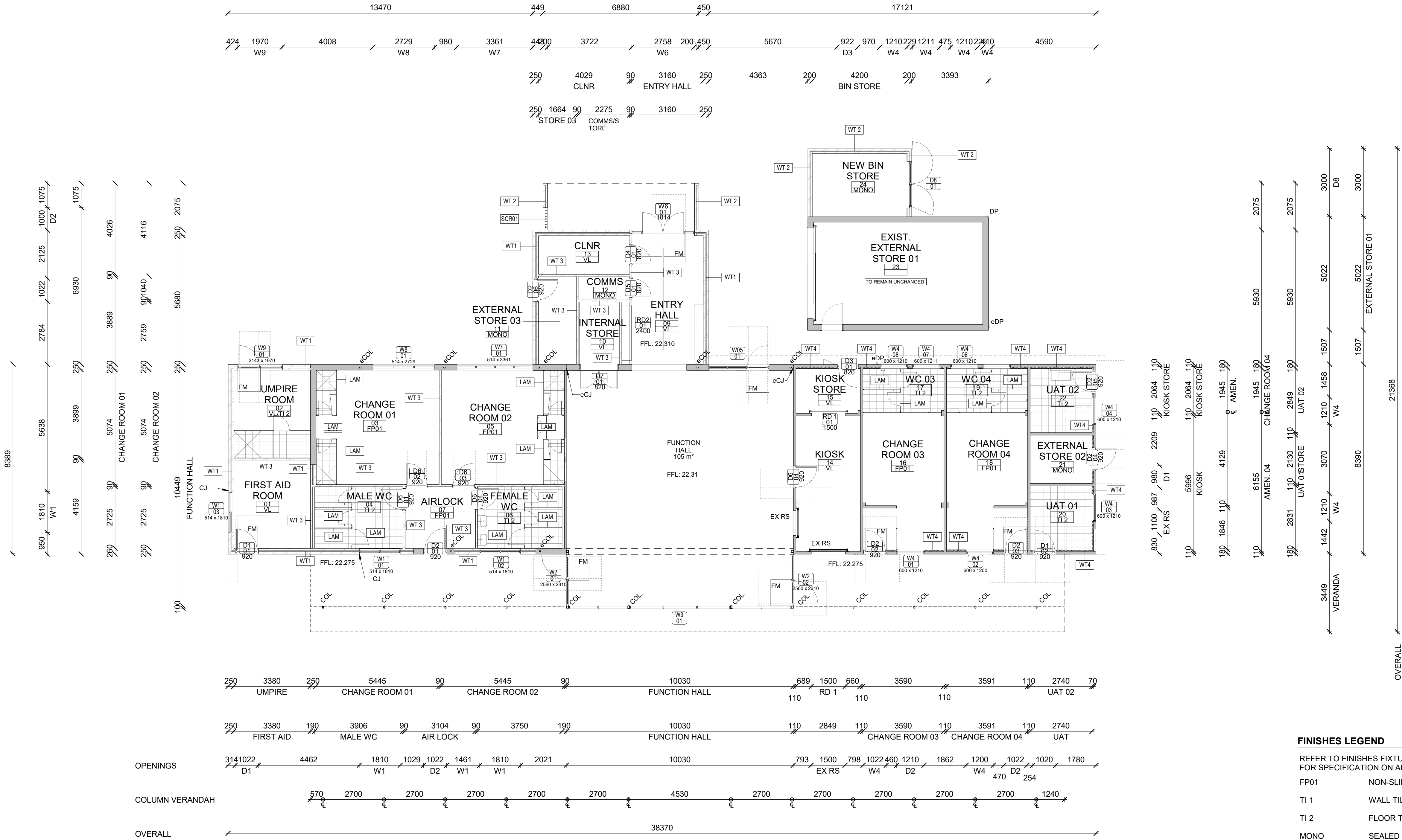
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FINISHES LEGEND

- REFER TO FINISHES FIXTURES AND EQUIPMENT SCHEDULE FOR SPECIFICATION ON ALL PRODUCTS.
- FP01 NON-SLIP EPOXY FLOOR PAINT AS SPECIFIED
 - TI 1 WALL TILES AS SPECIFIED
 - TI 2 FLOOR TILES AS SPECIFIED
 - MONO SEALED CONCRETE
 - VL VINYL
 - SCR01 POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'
 - LAM PARTITION WALLS NEW 13mm COMPACT LAMINATE AS SPECIFIED

LEGEND

- eCOL. EXISTING COLUMN REFER TO STRUCTURAL PLANS
- COL. NEW COLUMN REFER TO STRUCTURAL PLANS
- eX DP EXISTING DOWNPIPE
- DP NEW DOWNPIPE
- CJ NOMINAL CONTROL JOINT LOCATIONS TBC WITH BUILDER PRIOR TO CONSTRUCTION

- EXISTING WALL
- WT1 - DOUBLE BRICK CAVITY WALL 250
110mm BRICK, 50mm CAVITY, 90mm BRICK
INTERNAL FINISH: HWP, TI 1
EXTERNAL FINISH: PAINTED CONCRETE RENDER
- WT2 - DOUBLE BRICK CAVITY WALL 20
90mm BRICK, 20mm CAVITY, 90mm BRICK
INTERNAL FINISH: PAINTED CONCRETE RENDER
EXTERNAL FINISH: PAINTED CONCRETE RENDER
- WT3 - SINGLE LEAF BRICK WALL
90mm BRICK
- WT4 - NEW LINING ON EXISTING SINGLE LEAF WALLS
PAINTED FC SHEETING ON 70mm INSULATED FRAMED WALL, 110MM EXISTING SINGLE LEAF BRICK

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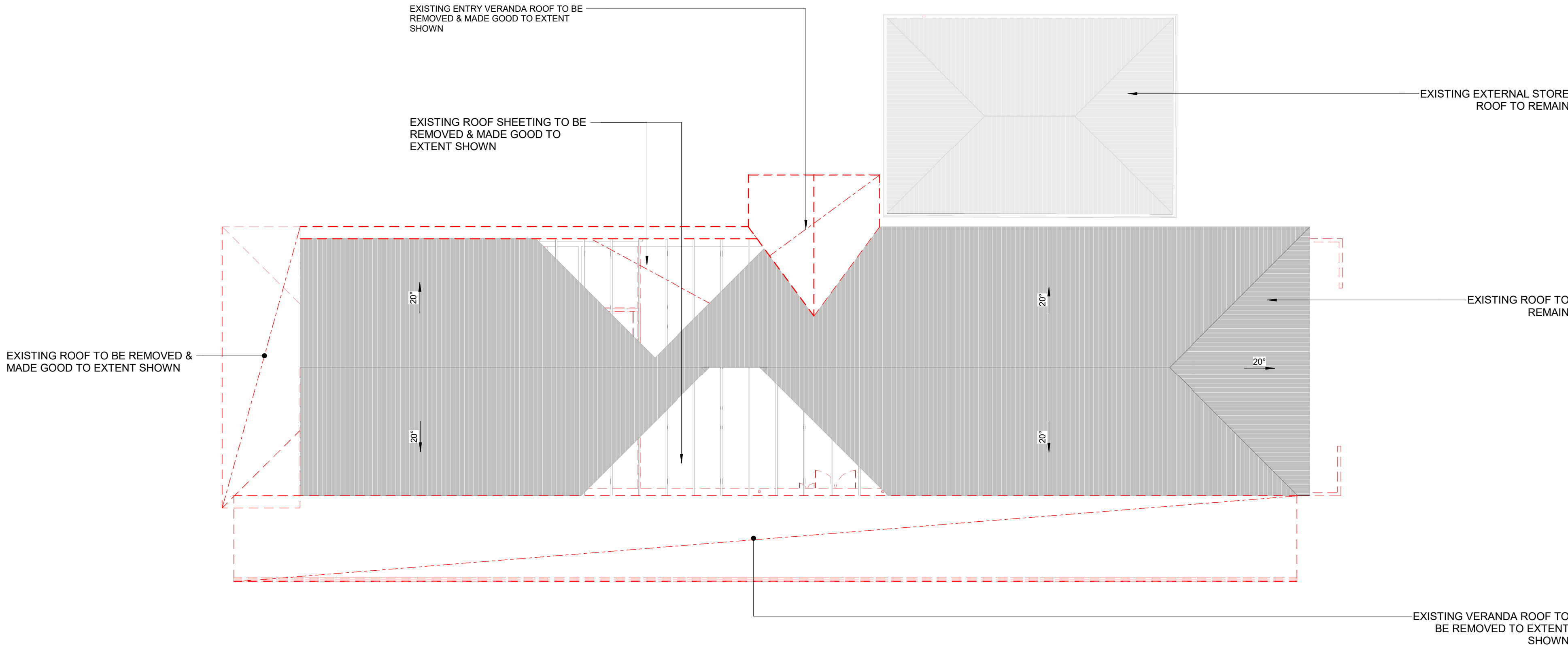
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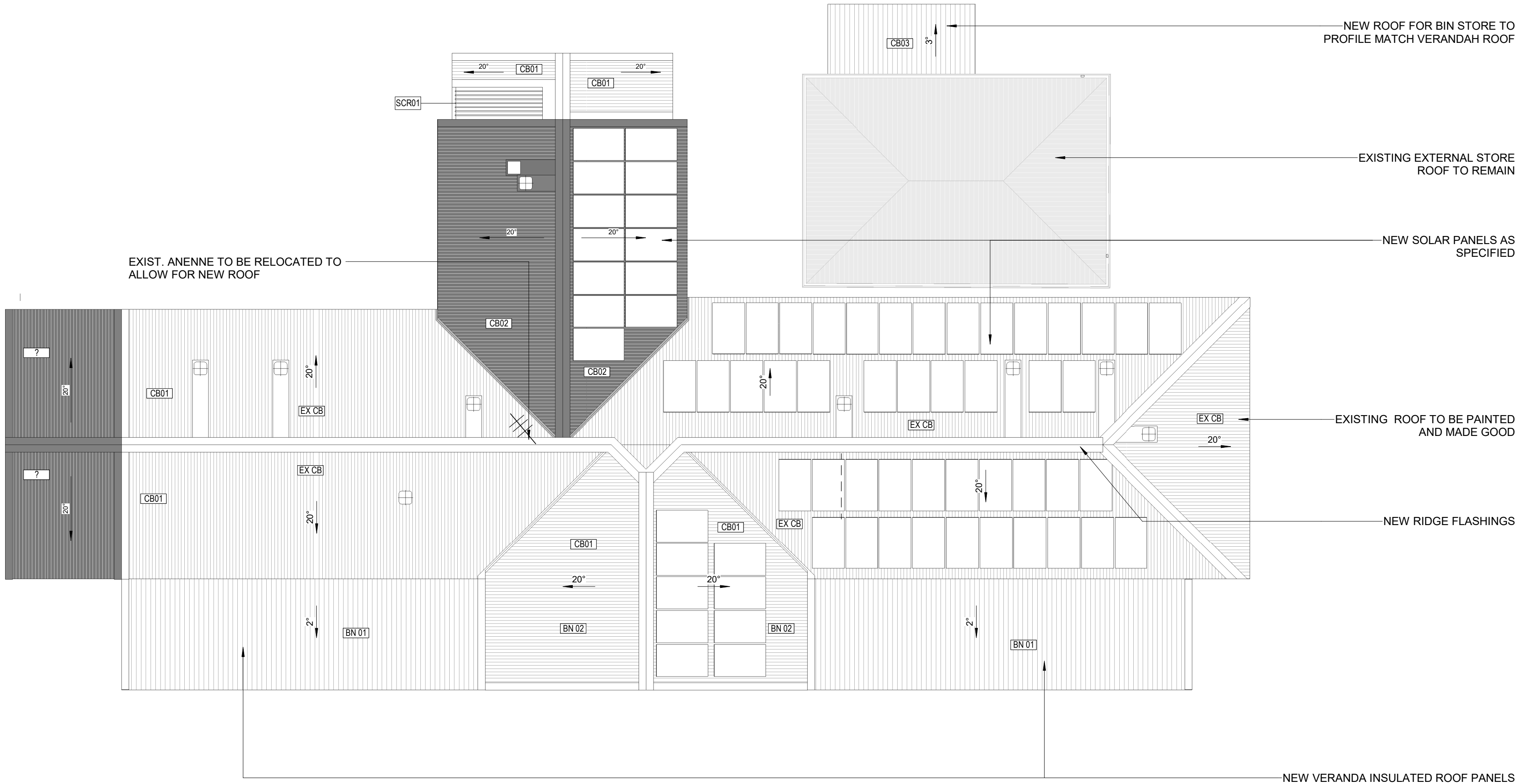
Project Description
Baskerville Pavillion

Project Number 02226
Drawing Title
SET OUT
Scale @ A3
1 : 200
Scale @ A1
1 : 100

Chk Checker	Dwg Coordinated	Dwg Director Approval
Drawing Number	Date	Issue
A-2002	16/08/23	1



1 EXISTING ROOF PLAN
1 : 100



2 A-2101 PROPOSED ROOF PLAN
1 : 100

ROOF PLAN LEGEND & NOTES

	DEMOLITION TO EXTENT SHOWN
EX CB	EXISTING ROOF SHEETING PAINTED 'SURFMIST'
CB01	COSTOM ORB ROOF SHEETINGFINISH DULUX 'SIRFMIST'
CB02	COSTOM ORB ROOF SHEETING FINISH DULUX 'BASALT'
CB03	ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX 'SURFMIST'
BN01	SOLAR SPAN INSULATED ROOF PANEL
BN02	INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST'
SCR01	POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'
	PROPOSED LOCATION FOR SOLAR PANELS
	NEW AIR VENT COWLS & COLORBOND UPSTAND APRON & DRY PAN FLASHING REFER TO MECHANICAL DRAWINGS

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Drawing Title
ROOF PLAN

Scale @ A3
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Scale @ A1
1 : 100
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Date
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A-2101
16/08/23
1

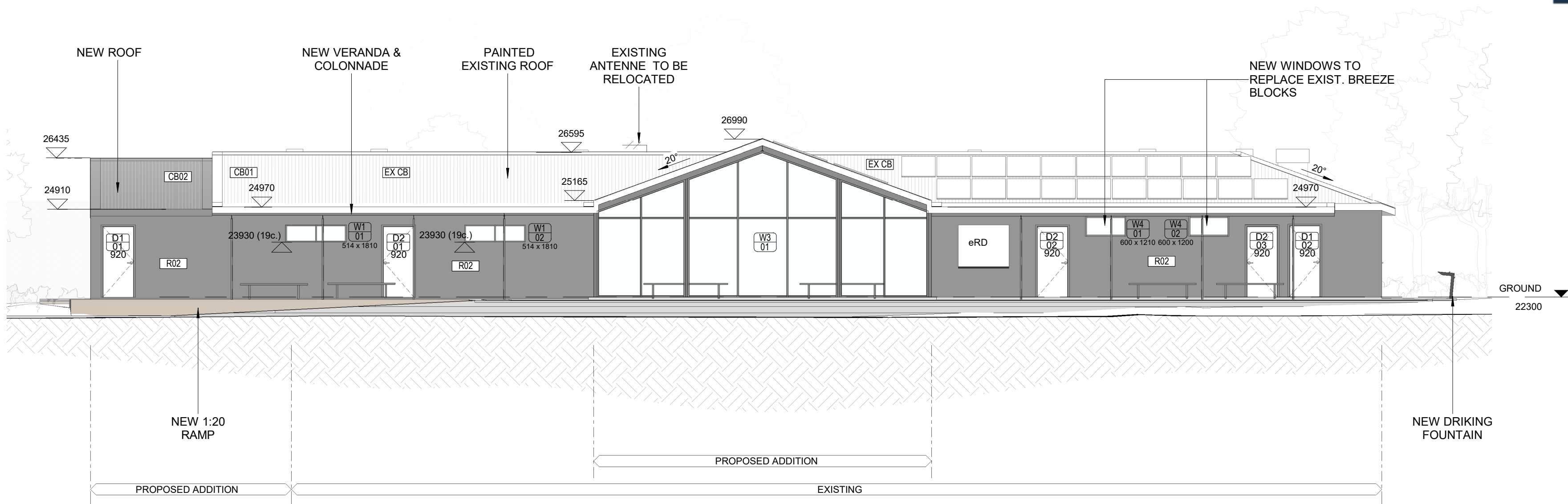
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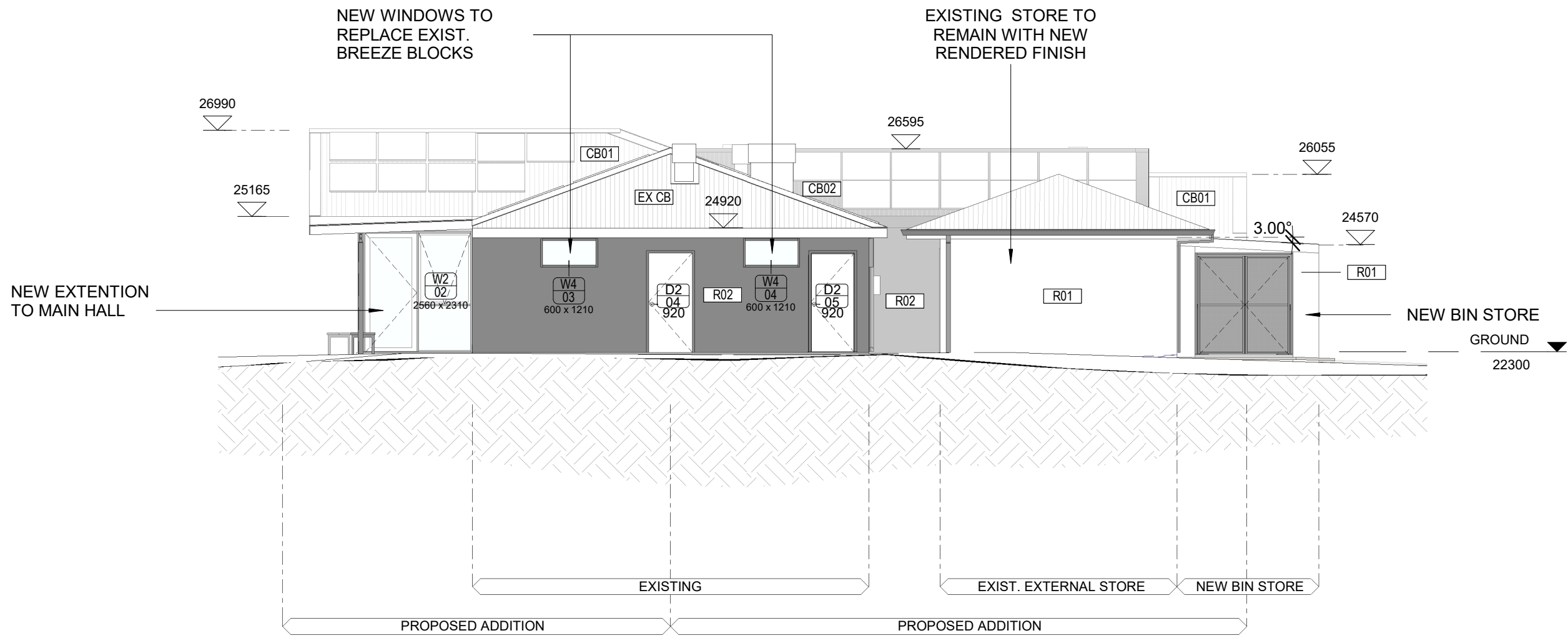
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2 EAST ELEVATION
1 : 100



1 NORTH ELEVATION
1 : 100

FINISHES LEGEND

REFER TO FINISHES FIXTURES AND EQUIPMENT
SCHEDULE FOR SPECIFICATION ON ALL
PRODUCTS.

R01	CEMENT RENDER PAINTED DULUX 'SURFMIST'
R02	PAINTED CEMENT RENDER PAINTED DULUX 'BASALT'
EX CB	EXISTING ROOR SHEETING PAINTED 'SURFMIST'
CB01	COSTOM ORB ROOF SHEETINGFINISH DULUX 'SIRFMIST'
CB02	COSTOM ORB ROOF SHEETING FINISH DULUX 'BASALT'
CB03	ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX 'SURFMIST'
BN01	SOLAR SPAN INSULATED ROOF PANEL
BN02	INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST'
SCR01	POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'

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City Of Swan

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Project Description
Baskerville Pavillion

Project Number 02226
Drawing Title
ELEVATION
Scale @ A3
1 : 200
Scale @ A1
1 : 100

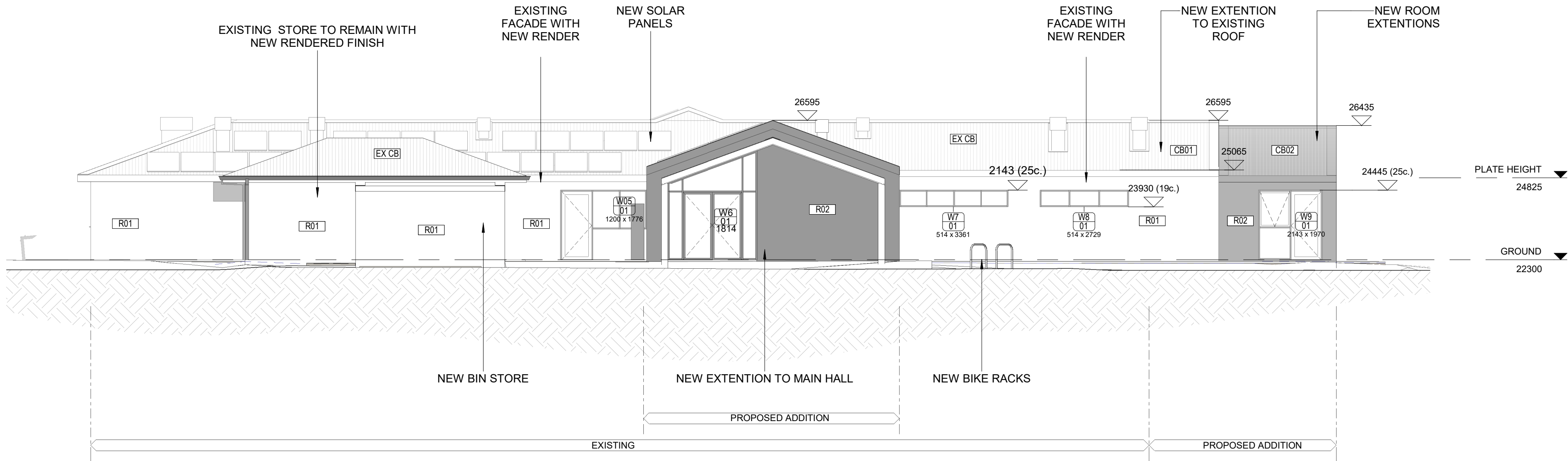
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16/08/23

A-3000 1

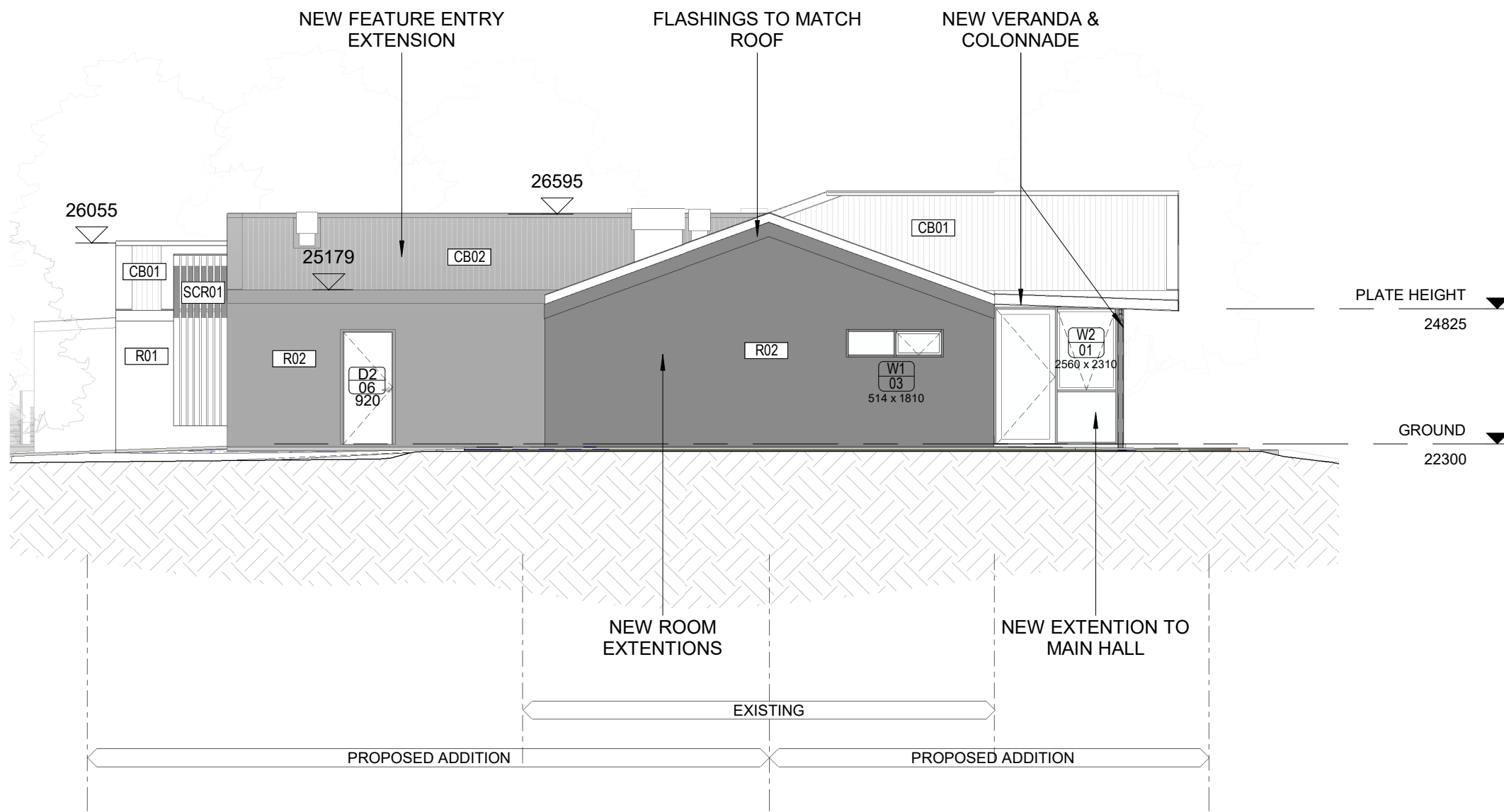
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FILE
21-2641-2



② WEST ELEVATION
1 : 100



① SOUTH ELEVATION
1 : 100

FINISHES LEGEND

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SCHEDULE FOR SPECIFICATION ON ALL
PRODUCTS.

R01	CEMENT RENDER PAINTED DULUX 'SURFMIST'
R02	PAINTED CEMENT RENDER PAINTED DULUX 'BASALT'
EX CB	EXISTING ROOR SHEETING PAINTED 'SURFMIST'
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SCR01	POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'

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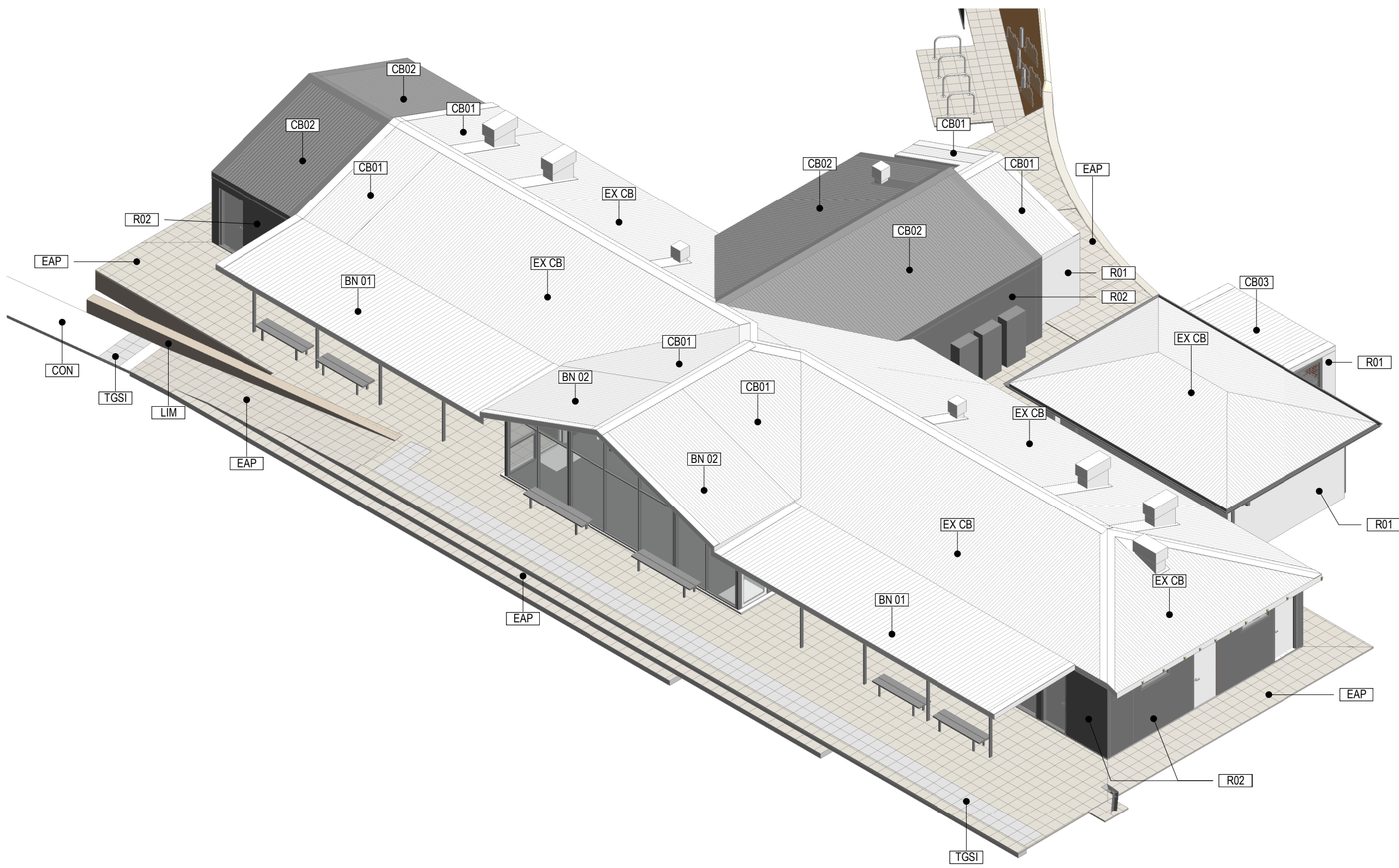
Project Description
Baskerville Pavillion

Project Number 02226
Drawing Title
ELEVATION
Scale @ A3
1 : 200
Scale @ A1
1 : 100

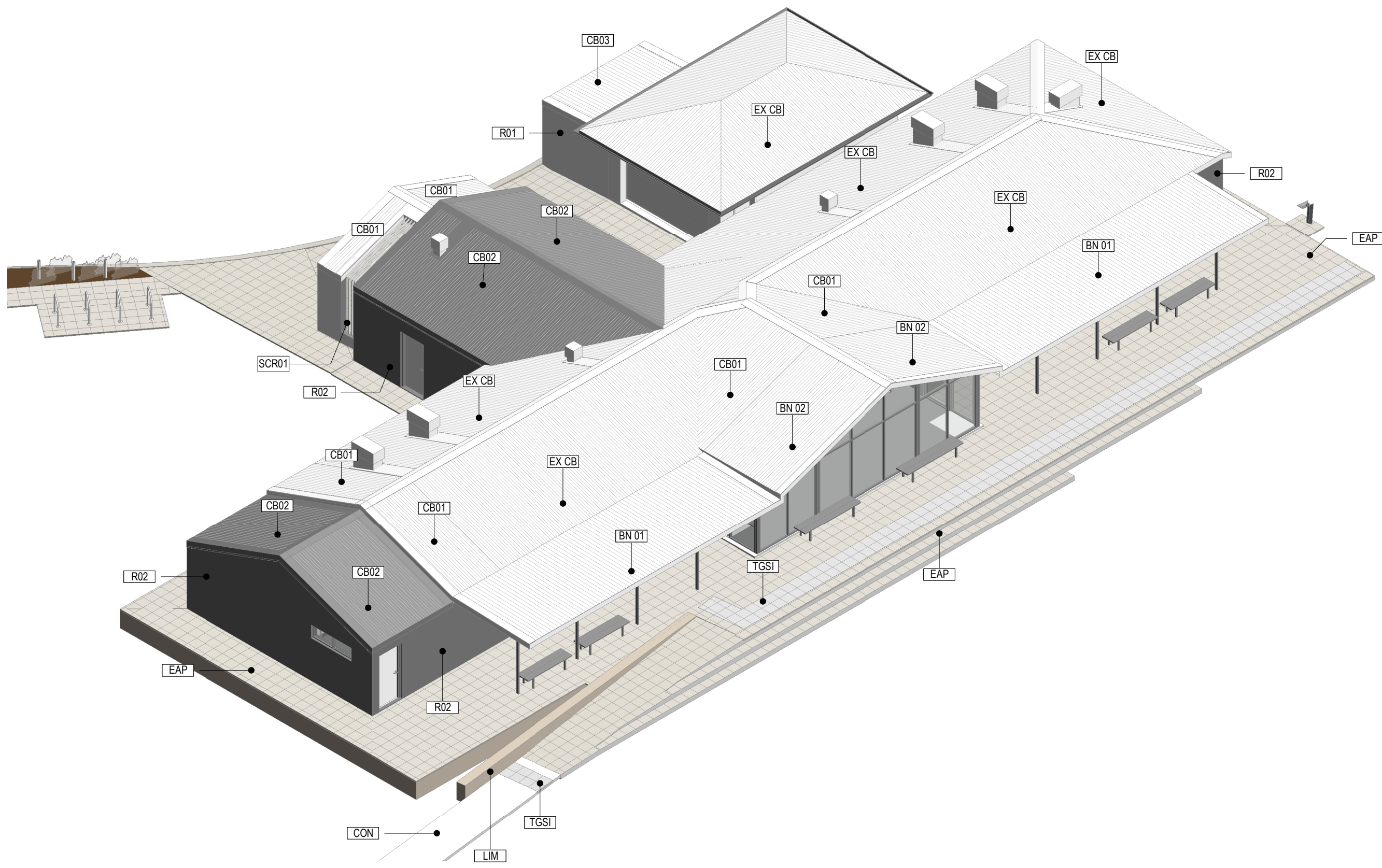
Chk GP	Dwg Coordinated	Dwg Director Approval
Drawing Number	Date	Issue
A-3001	16/08/23	1

GENERAL NOTES

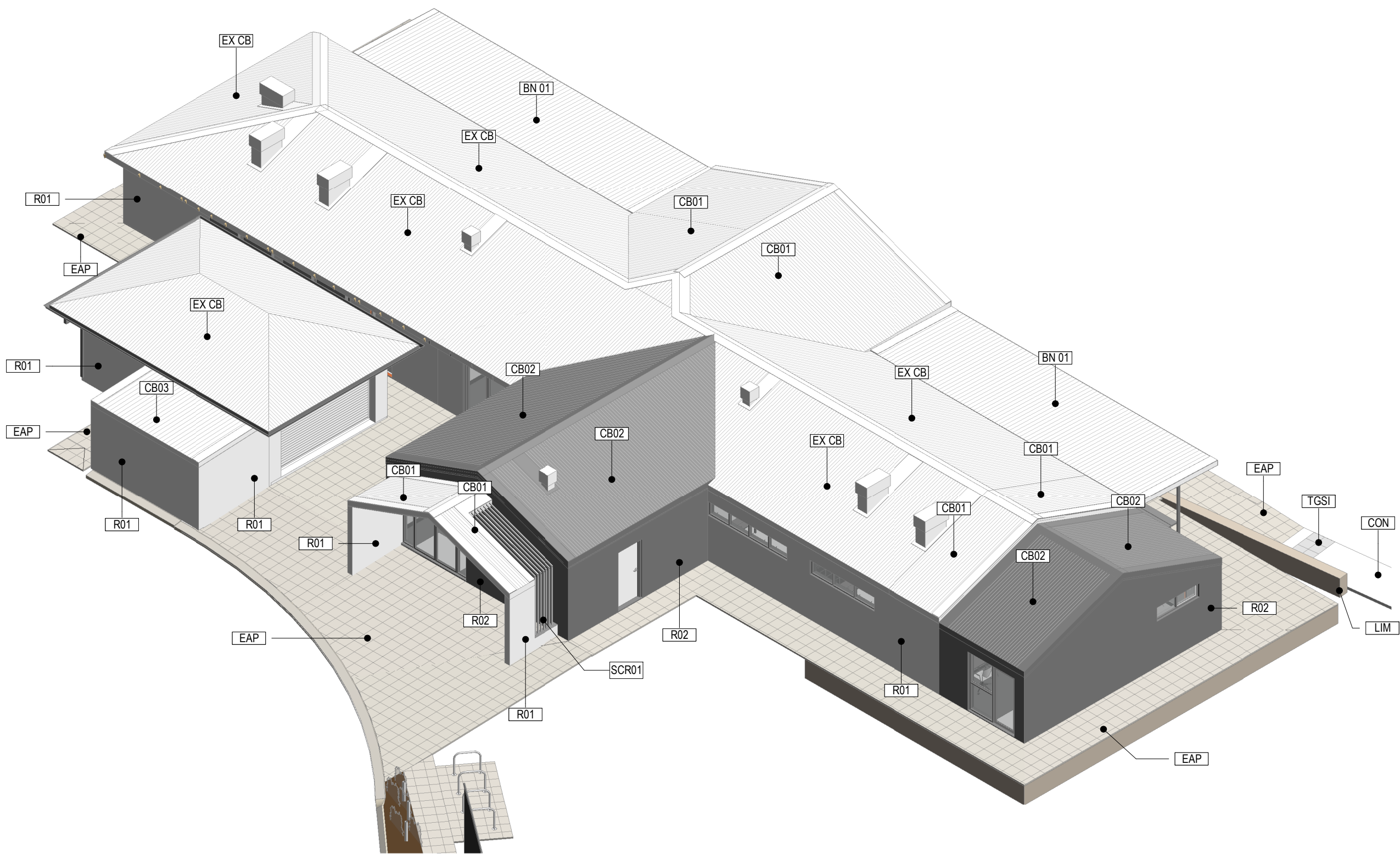
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3. Use figured dimensions only do not scale.
4. All dimensions on drawings, including new and existing, shall be checked on site by the builder prior to commencement of construction or placing of orders. Report any discrepancies on the drawings to the Architect immediately.
5. All work shall comply with the National Construction Code (NCC), Australian Standards and the requirements of state and local authorities.
6. All materials, fixtures, fittings and building components shall be installed in accordance with manufacturers' specifications and recommendations
7. Refer to A -000 for General Notes



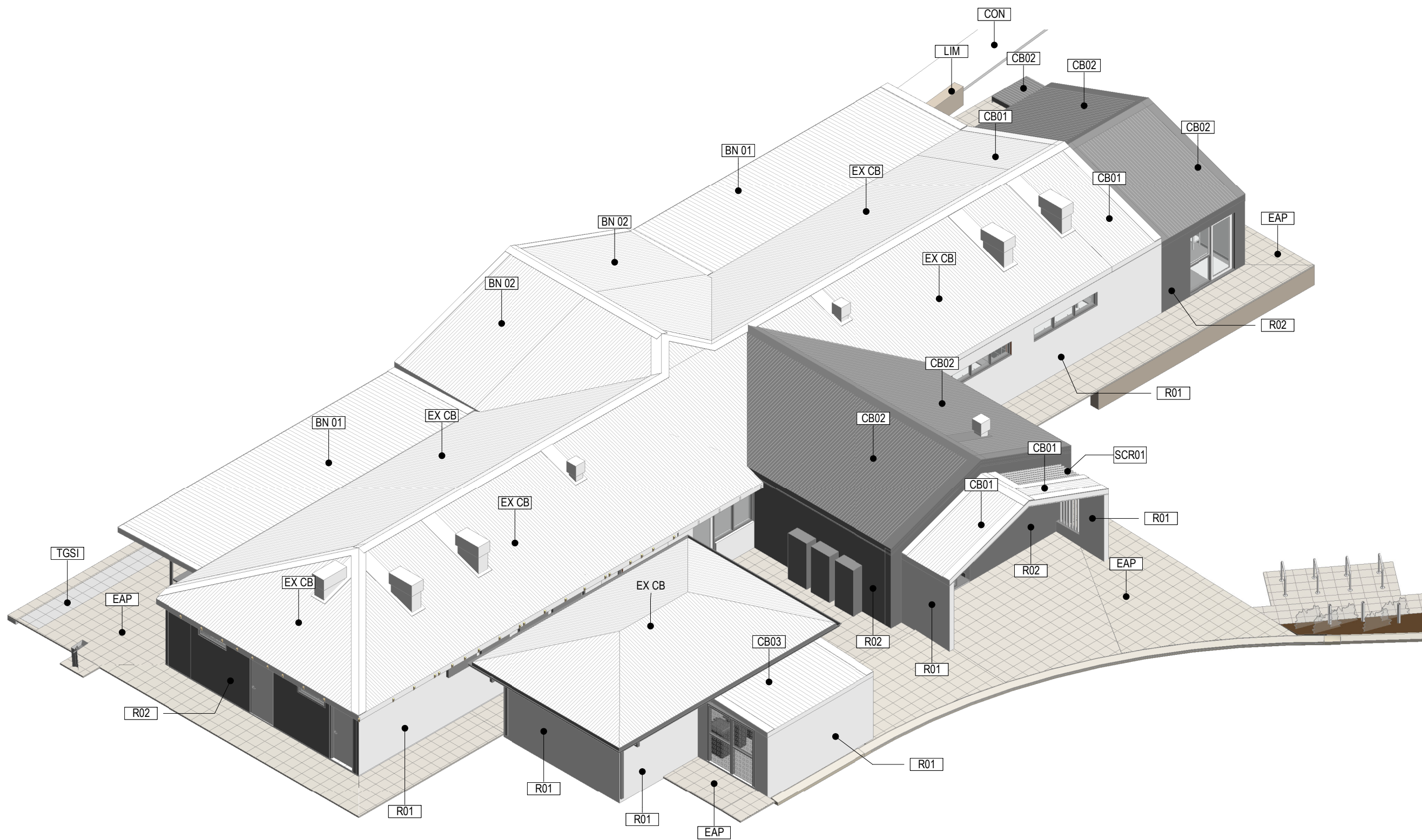
3 FINISHES PERSPECTIVE NE



4 FINISHES PERSPECTIVE SE



1 FINISHES PERSPECTIVE SW



2 FINISHES PERSPECTIVE NW



FINISHES LEGEND

R01	CEMENT RENDER PAINTED DULUX 'SURFMIST'	BN01	SOLAR SPAN INSULATED ROOF PANEL
R02	PAINTED CEMENT RENDER PAINTED DULUX 'BASALT'	BN02	INSULROOF INSULATED ROOF PANNEL PROFILE TO MATSCH EXISTING ROOF. FINISH DULUX 'SURFMIST'
EX CB	EXISTING ROOR SHEETING PAINTED 'SURFMIST'	EAP	EXPOSED AGGREGATE PAVERS
CB01	COSTOM ORB ROOF SHEETINGFINISH DULUX 'SIRFMIST'	LIM	LIMESTONE RETAINING WALL
CB02	COSTOM ORB ROOF SHEETING FINISH DULUX 'BASALT'	CON	CONCRETE PATH
CB03	ROOF SHEETING PROFILE TO MATCH BN01 FINISH DULUX 'SURFMIST'	SCR01	POWDER COATED 50x100 RHS (@200 CTRS) FEATURE SCREEN. FINISH DULUX 'BASALT'

1	16/08/23	DA ISSUE	TS
NO.	DATE	REVISION	BY

Client
City Of Swan
Status
DA ISSUE

MAINE
ARCHITECTURE
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Project Description
Baskerville Pavillion

Project Number 02226
Drawing Title
MATERIALS & FINISHES

Scale @ A3
1 : 200
Scale @ A1
1 : 100

Chk KM
Dwg Coordinated
Dwg Director Approval
Drawing Number
Date
16/08/23
Issue

A-4000
1

CLIENT

CITY OF SWAN

2 MIDLAND SQUARE
MIDLAND 6056

PROJECT

BASKERVILLE SPORTS PAVILION

STATUS

CONSTRUCTION DOCUMENTATION

LOCATION PLAN



DRAWING REGISTER

DRAWING LIST				
SHEET NUMBER	SHEET NAME	SIZE	REVISION NUMBER	STATUS
230518-00-L000	COVER PAGE, LOCATION AND DRAWING REGISTER	ISO A1	A	CONSTRUCTION DOCUMENTATION
230518-00-L100	LEGEND PLAN	ISO A1	A	CONSTRUCTION DOCUMENTATION
230518-00-L200	SURFACE FINISH PLAN	ISO A1	A	CONSTRUCTION DOCUMENTATION
230518-00-L300	PLANTING PLAN	ISO A1	A	CONSTRUCTION DOCUMENTATION



NOTES

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DO NOT SCALE FROM THE DRAWING

WARNING



Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

DATE REV AMENDMENTS

21/07/23	A	FOR PRE-TENDER ESTIMATE
	-	
	-	
	-	
	-	

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CLIENT

CITY OF SWAN
2 MIDLAND SQUARE
MIDLAND 6056

PROJECT

BASKERVILLE SPORTS PAVILION

DRAWING

COVER PAGE, LOCATION AND
DRAWING REGISTER

DRAWN	CHECKED	SCALE @ A1
JP	DP	1:100

STATUS

CONSTRUCTION DOCUMENTATION

DRAWING NO.	REVISION
230518-00-L000	A

DEPARTMENT OF PLANNING, LANDS
AND HERITAGE

DATE
02-Oct-2023

FILE
21-2641-2

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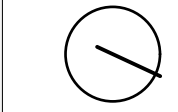
WARNING



DIAL BEFORE
YOU DIG
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DATE	REV	AMENDMENTS
21/07/23	A	PRE TENDER ESTIMATE



01234510

1:100 @ A1
1:200 @ A3

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CLIENT

CITY OF SWAN

2 MIDLAND SQUARE

MIDLAND 6056

PROJECT

BASKERVILLE SPORTS PAVILION

DRAWING

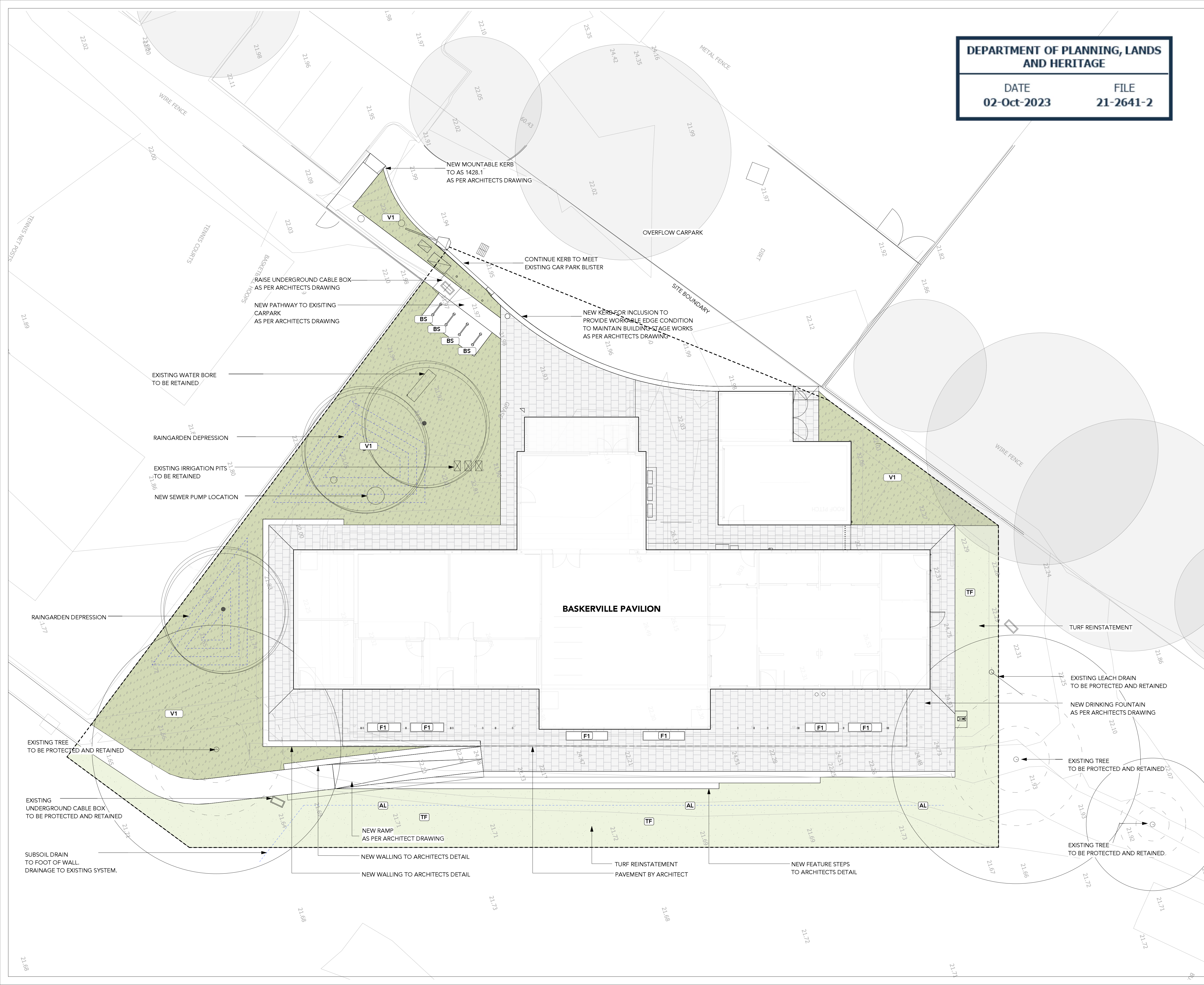
SURFACE FINISH PLAN

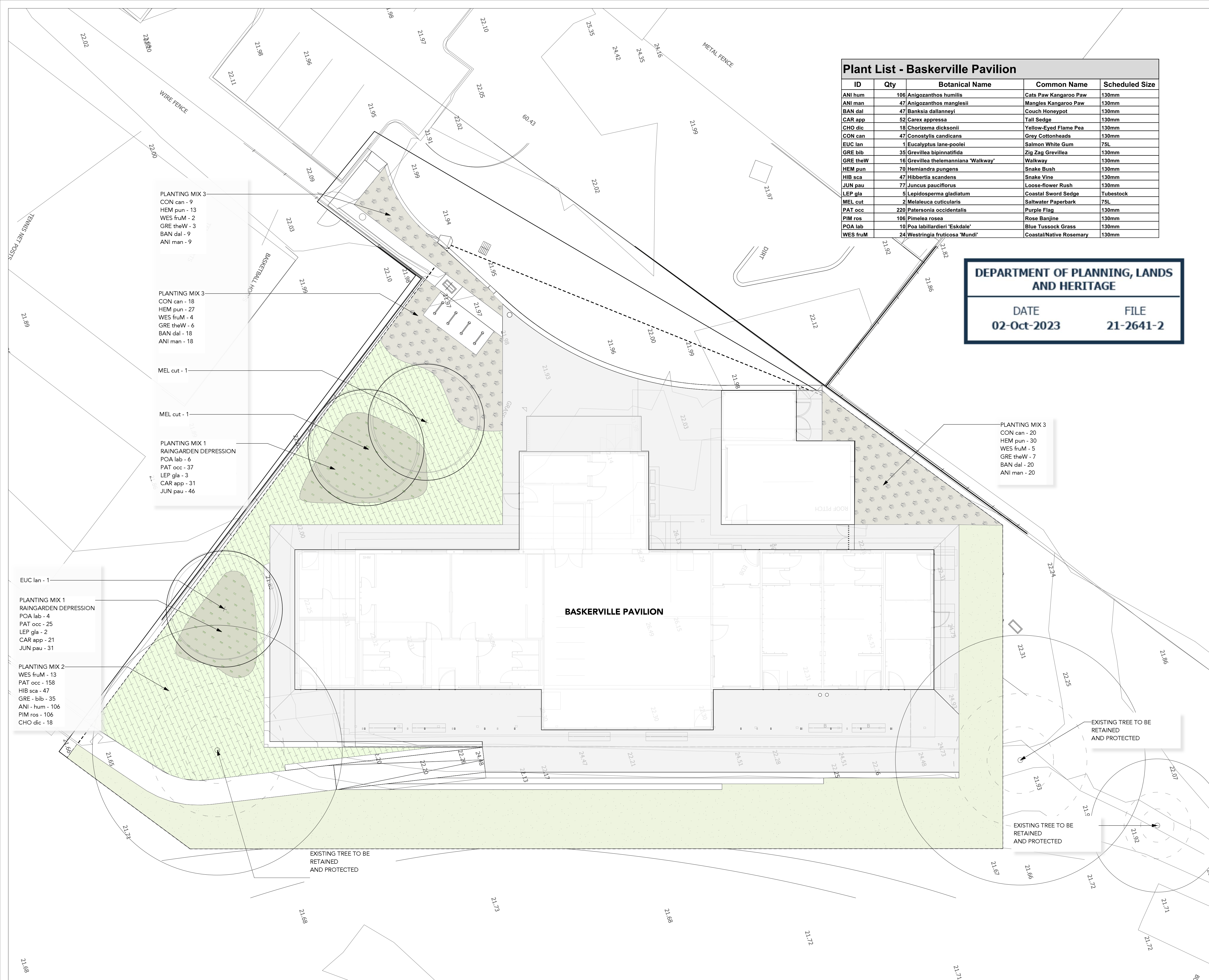
DRAWN	CHECKED	SCALE @ A1
JP	DP	1:100

STATUS

CONSTRUCTION DOCUMENTATION

DRAWING NO.	REVISION
230518-00-L200	A





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DATE

REV

AMENDMENTS

21/07/23

A

PRE TENDER ESTIMATE

1:100 @ A1

1:200 @ A3

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CLIENT

CITY OF SWAN

2 MIDLAND SQUARE

MIDLAND 6056

PROJECT

BASKERVILLE SPORTS PAVILION

DRAWING

PLANTING PLAN

DRAWN

CHECKED

SCALE @ A1

JP

DP

1:100

STATUS

CONSTRUCTION DOCUMENTATION

DRAWING NO.

REVISION

230518-00-L300

A