

SWAN VALLEY DEVELOPMENT PLAN

2015

DRAFT

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September 2015

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With thanks to the the City of Swan, Department Transport, Department of Water, Department of Agriculture and Food Western Australia, and Tourism Western Australia for their assistance in preparing the Swan Valley Development Plan.

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Foreword



Minister for Planning

The Swan Valley is an important part of Western Australia's heritage and culture. Its fertile soils and abundant fresh water sustained local Aboriginal communities for thousands of years, and provided ideal conditions for the establishment of one of the oldest wine producing regions in Australia. Today the Swan Valley has become a highly desirable tourist destination for local, interstate and international visitors to Perth.

In 1995, the Western Australian State Government established the *Swan Valley Planning Act* to protect the area from encroaching subdivision and urban development, and to preserve the rural character for future generations. While successful in part, a review of the Swan Valley undertaken in 2012 found that the existing legislation was inadequate to protect the area from incompatible development and land use.

In response to these findings, the State Government announced its intention to establish a new legislative and governance framework that recognises and adequately protects the Swan Valley's rural character, environmental values and heritage. The new *Swan Valley Protection Act* and this Development Plan are key elements of that framework, and will be used by the City of Swan and Western Australian Planning Commission to guide development and land use in this important region over the next 30 years.

A handwritten signature in black ink that reads "John Day." The signature is written in a cursive, flowing style.

Hon. John Day MLA
Minister for Planning



A word cloud on a green background. The words are arranged in various orientations and sizes. The most prominent words are 'Swan Valley' in large yellow font, 'music' in large white font on the left, and 'create' in large white font on the right. Other words include 'food', 'wine', 'stay', 'farming', 'relax', 'drink', 'family', 'eat', 'explore', 'people', 'fun', 'picnic', 'bike', 'walk', and 'DEVELOPMENT PLAN'. There are also two yellow circles of different sizes in the upper right quadrant.

music
food
wine
stay
farming
relax
drink
family
Swan Valley
eat
create
DEVELOPMENT PLAN
people
fun
picnic
bike
walk
explore

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PART A VISION & STRATEGY





1.0 Introduction

The Swan Valley is a unique and valued part of Perth's natural and cultural landscape. Its rivers, fresh water lakes and fertile soils at the foot of the Darling Escarpment sustained local Aboriginal communities for thousands of years, and provided ideal conditions for the establishment of one of the oldest wine producing regions in Australia.

Today the Swan Valley is recognised not only for its heritage and viticulture, but also for its rural character, its varied agriculture, and its attraction to visitors and tourists as a welcome escape from the city.

In 1995, the State Government established the Swan Valley Planning Act to protect these characteristics and ensure the area is preserved for future generations. It is now estimated that the Swan Valley attracts more than 2 million visitors per year and contributes \$350 million annually to the Western Australian economy.

Notwithstanding this, the area is under increasing pressure from incompatible development and land use, putting at risk the attributes and characteristics that make the Swan Valley an attractive and desirable place.

To address this risk, the State Government proposes to introduce new legislation to further protect the Swan Valley, and a new planning framework to prevent inappropriate development and use of land from occurring. This Development Plan forms a key element of that framework.

1.1 What is a Development Plan?

The Swan Valley Development Plan has been prepared as a requirement of the proposed new Swan Valley legislation. It sets out the strategic planning, development and land use vision for the Swan Valley, and provides both policy guidance and controls to ensure future development and land use are aligned with that vision.

The Development Plan will be used by developers and proponents when preparing applications for development and land use in the Swan Valley, and by decision making authorities when considering and determining those applications.

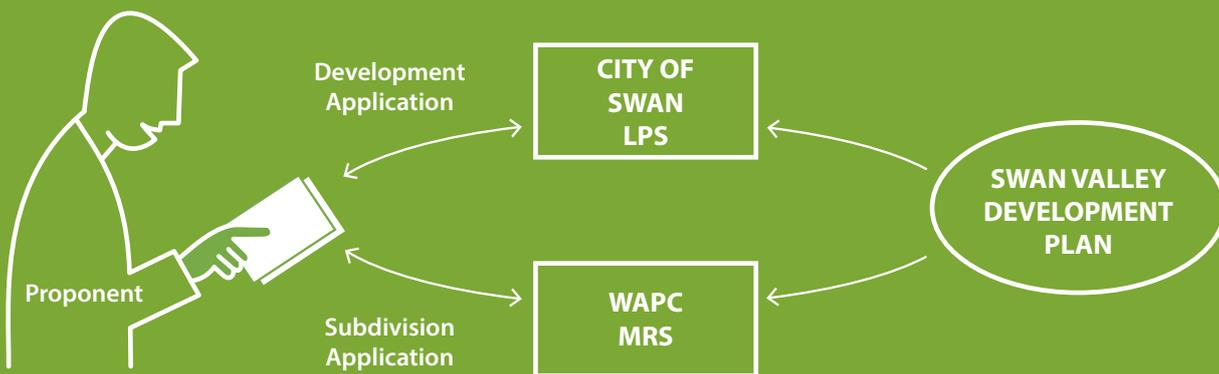
The City of Swan and the Western Australian Planning Commission will continue to determine applications under the Local Planning Scheme and Metropolitan Region Scheme, both of which are required to be consistent with the Development Plan. In the event of any inconsistency the provisions of the Development Plan prevail.

1.2 How is the Plan used?

The Development Plan does not alter the process for making planning and development applications. If land owners, developers or their representatives are seeking planning or development approvals in the Swan Valley, they should follow the normal process of submitting an application to the City of Swan (for development approval) or the Western Australian Planning Commission (for subdivision approval).

Proponents will be expected to consider the Development Plan when preparing applications to ensure their proposals are consistent with the objectives and expectations for planning and development in the Swan Valley. This will assist officers when assessing applications and making recommendations to either Council or the Western Australian Planning Commission.

The diagram below illustrates how the Development Plan fits into the normal planning and development application process.



Proponents follow the normal process of applying for development or subdivision approval. The City of Swan or Western Australian Planning Commission then determine applications under the local planning scheme or metropolitan region scheme with reference to the Swan Valley Development Plan.

1.3 Background to the Plan

In 2011, the Minister for Planning requested an inquiry into governance and land use in the Swan Valley. The inquiry was carried out by the Swan Valley Planning Committee, the Department of Planning and the City of Swan.

As part of the inquiry the Department of Planning prepared and released the *Swan Valley Land Use and Management Discussion Paper* for public comment. Over 160 public submissions were received identifying a wide range of issues, including the potential loss of landscape and rural character, the viability of traditional agriculture in the Valley, the fragmentation of agricultural land, the changing local economy, the structure and administration of the existing land use planning and regulatory framework, access to services and infrastructure, and the effectiveness of the transport network.

In December 2013, the Department of Planning published *The Way Forward - Swan Valley Land Use and Management*, which included nine recommendations based on the findings of the inquiry and the content of public submissions. In January 2014, Cabinet endorsed Government's response to each of the recommendations. Key among these was Government support for a revised legislative, governance and planning framework for the Swan Valley.

The proposed Swan Valley Protection Act and the Swan Valley Development Plan are key elements of that framework.

Key Government Recommendations

- The Government recognises the significance of the Swan Valley's rural character, environmental values and heritage, and is committed to maintaining and enhancing these attributes.
- The Government supports a revised legislative and governance framework for the Swan Valley, including dissolving the Swan Valley Planning Committee, with planning decisions to be made by the local government (or Development Assessment Panels for higher value applications) - subject to appropriate local scheme, policy and design guidelines provisions being established as a priority.
- The Government will consider any necessary amendments to other relevant legislation to ensure alignment with the revised legislative and planning framework for the Swan Valley.

1.4 Swan Valley context

The Swan Valley is located within the Perth metropolitan region approximately 15 kilometres from the central business district and 5 kilometres from the domestic and international airports (see Figure 1).

The Valley covers approximately 7000 hectares of land extending along the Swan River from Guildford and Midland in the south to Ellenbrook and Upper Swan in the north. It is bordered on the east by the Darling Ranges and on the west by the Swan urban growth corridor.

Aboriginal History

The Swan Valley lies within an area traditionally occupied by the Whadjuk people of the Nyungar nation. The fertile soils and abundant fresh water made the Valley an important source of food, including fish, waterfowl, tortoise, frog, birds, freshwater mussels and root vegetables.

The Swan River runs through the Valley and holds particular significance in Aboriginal mythology, but it was also an essential part of everyday life:

“Without water we can’t live and how important that water was and the river was to Noongar people because it supplied fish and jilgies and crabs and all sorts of things for people, and water, and it made an abundance of life there, the birds and so forth it was a part of that complete circle of life, without it Noongar people could never have existed. And a very special place too, always special, because Noongar people believe that the Waggle made all these places and still believe and will always believe, and that’s the law, and what we follow...” Source: National Trust (2012), *Rivers of Emotion: An emotional history of the Swan and Canning Rivers*.

Yagan was one of the most well known local Aboriginal people encountered by European settlers and was regarded as a leader and warrior of his people. After a series of events in 1832 and 1833, Yagan was declared an outlaw and was killed at Upper Swan. The Yagan Memorial Park on West Swan Road in Belhus was officially opened in July 2010.

European History

Captain James Stirling first sighted the Swan Valley in 1827 whilst undertaking a detailed exploration of the Swan River. He established a camp at the foot of Ellen Brook and was greatly impressed with the location, writing in his diary that:

“The richness of the Soil, the bright foliage of the Shrubs, the majesty of the surrounding Trees, the abrupt and red coloured banks of the River occasionally seen, and the view of the blue summits of the Mountains, from which we are not far distant, made the scenery around this Spot as bieutiful [sic] as anything of the kind I had ever witnessed.”

Source: James, R (2012), *Settlement of the Swan*

Thomas Waters, a botanist and one of the first settlers, recognised that the region’s climate could produce high quality wine, and planted vine root stock from South Africa at Olive Farm in South Guildford. Vine clippings from the Swan Valley were later used to start viticulture production in the Margaret River region.

Southern European migrants moved to the Swan Valley after the first world war and were largely responsible for transforming the Valley from traditional agricultural lands into vineyards. By the late 1940s the Swan Valley had about 4000ha of productive vines and more operating wineries than New South Wales and Victoria .

“ One of the important advantages the Swan Valley has over other tourism regions is its proximity to the wider Perth metropolitan area... ”

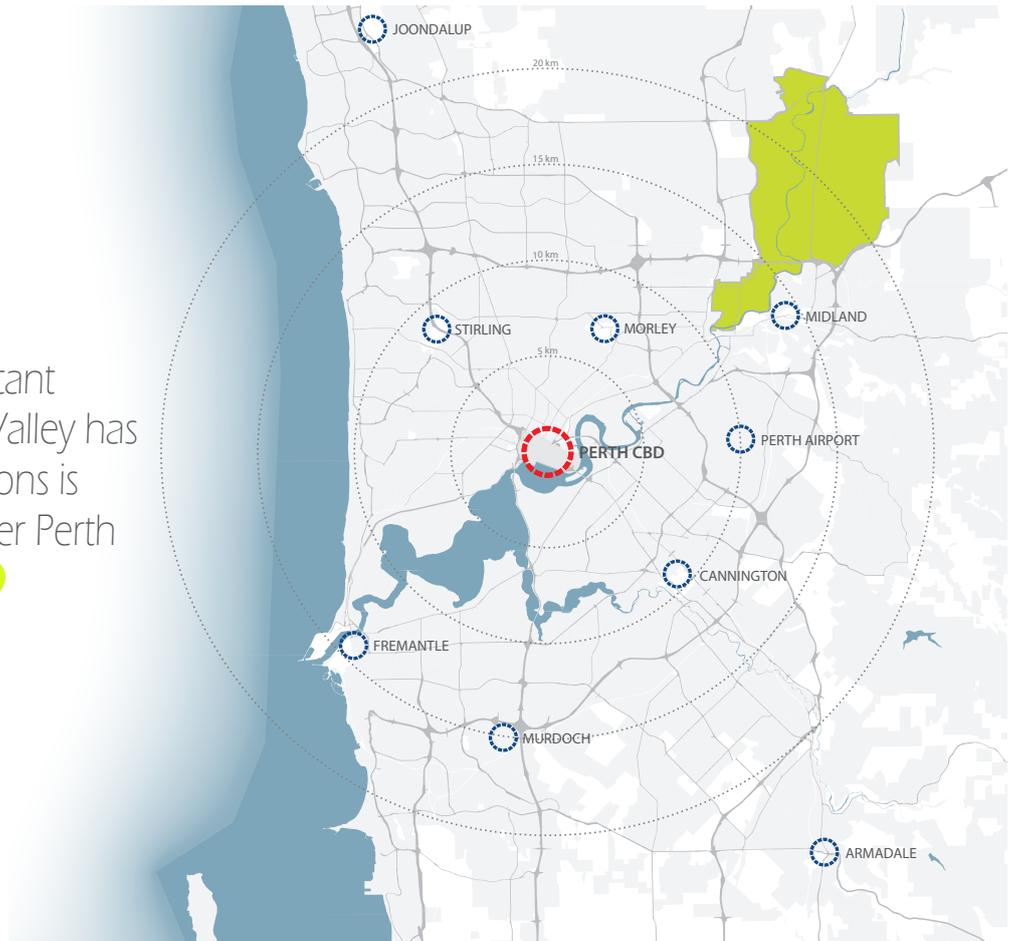


Figure 1: Swan Valley Location

Swan Valley Today

Today the Swan Valley is a more diverse economic region with a range of land uses, activities and attractions. Tourism has emerged as an important companion industry to traditional agriculture and viticulture, with a particular emphasis on the the food and wine tourism market.

One of the important advantages the Swan Valley has over other tourism regions is its proximity to the wider Perth metropolitan area, making it ideal for both day visits and overnight stays.

At the same time the rural character of the Swan Valley has generated increased demand for lifestyle pursuits such as rural living, hobby farming and equestrian activities.

The diversification of the Swan Valley and its economic base is positive for the region's future, making it less vulnerable to cyclical or structural changes in particular industry sectors. However, the growing demand for land has resulted in the emergence of development and land uses that are incompatible with, and are having a detrimental impact on the rural character of the Valley.

The proposed Swan Valley Protection Act and this Development Plan have been prepared to limit any further erosion of that rural character, while promoting continued use and enjoyment of the Swan Valley.





2.0 Vision & Strategy

Wine, food and tourism regions often start out as small, locally grown industries that evolve organically until reaching a level of popularity that makes them recognised and marketable destinations. That popularity can, if not properly managed, lead to land use conflicts that threaten the very characteristics that popularised the region.

Regions that are successful at sustaining industry growth without detrimentally impacting local character, typically adhere to an agreed vision and a clear strategy that sets out how that vision is to be achieved and protected.

Over recent years both the vision and strategy for the Swan Valley have become unclear, giving rise to concerns from the local community, business operators and government that the existing governance and regulatory framework is inadequate to capture and protect the values of the Swan Valley.

A new vision has therefore been developed to guide the continued evolution of the Swan Valley over the next 50 years:

“ A world class food and beverage destination with exceptional visitor appeal ”

The strategy for how this vision is to be achieved and protected is set out on the following pages.

2.1 Swan Valley Strategy

The following strategy provides for the continued growth of the food, beverage and tourism industry, while protecting the rural character and agricultural land of the Swan Valley from competing and incompatible land uses. The strategy is designed to provide an overarching framework for how land in the Swan Valley is to be used and developed. Part 3 of the Development Plan then sets out the detailed land use and development provisions that proponents and decision makers must observe when making and assessing planning applications.

The strategy covers the following key areas:

- Development Plan Area
- Natural Environment
- Economic Environment
- Built Environment
- Land Use Zones
 - Rural Zone
 - Rural Residential Zone
 - Intensive Tourism Zone
 - Town Centre Zone
- Movement and Access
- Public Open Space
- Services and Infrastructure

2.2 Development Plan Area

The Development Plan area is shown in Figure 2 opposite. It is identical to the area covered by the Swan Valley Planning Act 1995. No land is proposed to be removed from or added to the Swan Valley area.

2.3 Natural Environment

The term natural environment is used to describe Swan Valley ecological and geological values, as well as the natural and man-made landscape condition.

Rivers and Waterways

The Swan River, its tributaries, wetlands and floodplains form an integral part of the Swan Valley natural environment. Both the Department of Water and Swan River Trust have a role in protecting and minimising degradation of the Swan River waterways.

Proponents must ensure that land use and development proposals satisfy the legal and policy requirements of the Swan River Trust and Department of Water. In particular, proposals must comply with the *Swan and Canning Rivers Management Act 2006* and the State Government's *Better Urban Water Management* policy.

Groundwater

Groundwater levels in the Perth region have been declining over the last decade due to the current levels of use and declining rainfall. The Department of Water is reviewing the 2009 Gnangara Allocation Plan and is intending to release a new plan in 2017. As part of the review and to align water resource management with Government priorities, the Department of Water will be considering allocation limits, sub-area boundaries, as well as trading and other licensing policies.

It will be a significant challenge to balance the water resource needs for public interest, development, ecological sustainability and the environment. The Department of Water will consult comprehensively with stakeholders as part of developing the revised Allocation Plan, and a focus group will be specifically formed for the Swan Valley to address water allocation and management issues. Considering the current status of the resource and the predicted drying climate in SW Western Australia in the coming years, there may be the need for a reduction in allocation limits.

Development Plan Area

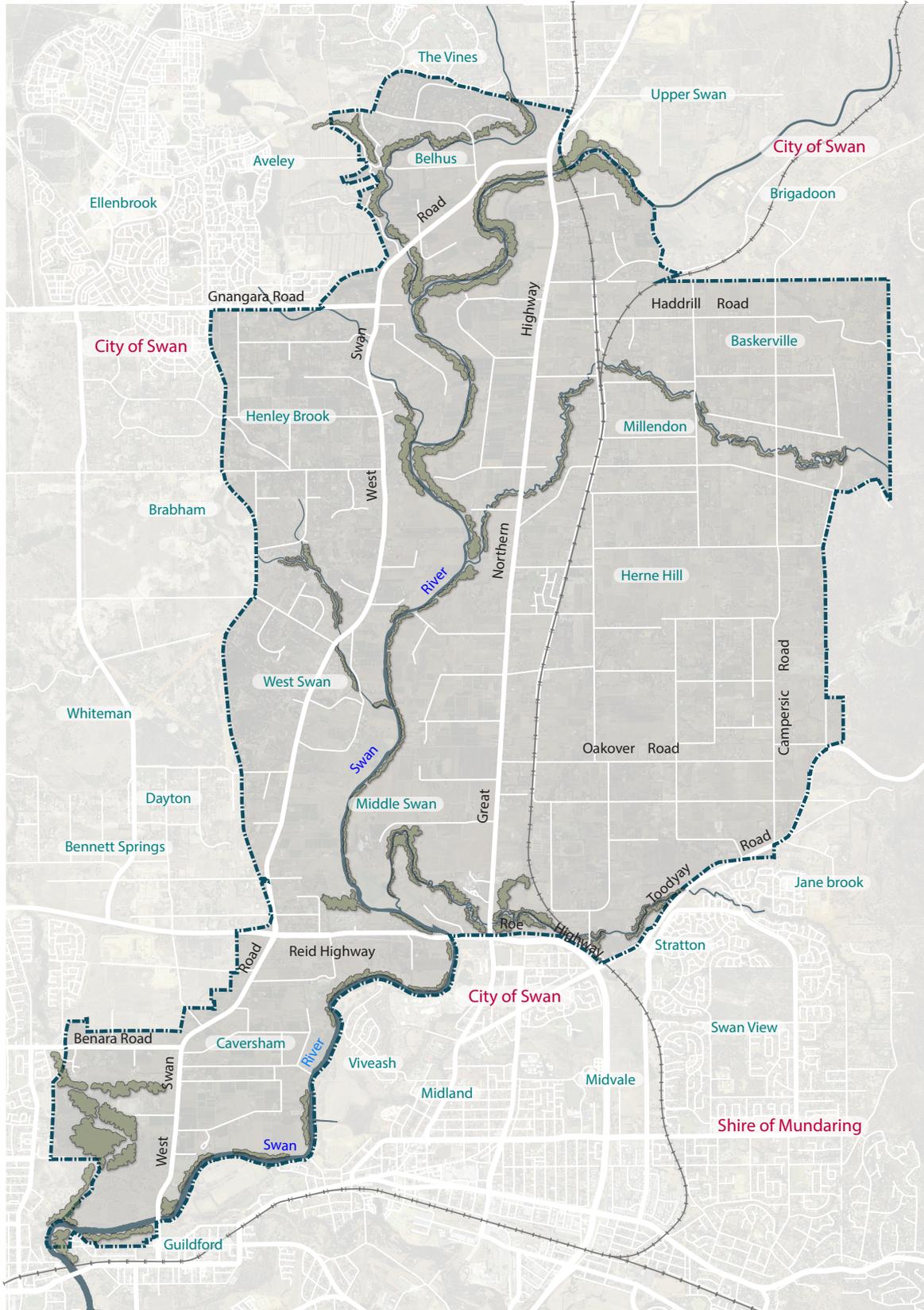


Figure 2: Development Plan Area

2.3 Natural Environment (cont'd)

A sustainable water source is essential for future agricultural production in the Swan Valley. It is axiomatic therefore that local businesses and producers must make every effort to protect their investments by minimising water use and employing best practice water management techniques. Industry leadership will be critical in this area.

Soils

The Department of Agriculture and Food has completed a *Swan Valley Land Capability - Land Assessment Review for Reform in the Swan Valley* (the review). The review methodology combines traditional soil-landscape mapping data with water resources data (rainfall and groundwater), to identify areas potentially suitable for irrigated agricultural production.

In summary, from a land capability perspective the review identified that the Swan Valley contains soils that are potentially suitable for growing a range of crops including table grapes, wine grapes, orchards, market gardens and irrigated pastures.

When combined with licenced water use, the review concluded that the majority of land in the Swan Valley has access to a moderate water resource and is of fair to best soil quality. Those areas identified with access to a moderate water resource but only poor soil capability correspond with the land identified for rural residential use.

Of some note is that land on the eastern side of the Valley previously considered unsuitable for productive farming has been identified in the review to have good potential for irrigated agriculture. A number of landowners are currently cultivating wine grapes in this area with little or no irrigation.

Landscape

The Department of Planning has undertaken a preliminary landscape assessment of the Swan Valley, to better understand the landscape values that contribute to the Swan Valley character, and provide a basis for future planning and protection.

The assessment identified that the Swan Valley landscape is relatively diverse, made up of a patchwork of largely distinct and recognisable landscape character areas. The underlying landscape structure is formed by the Swan River which extends on a generally north-south alignment through the Valley, and links via its tributaries to the foothills in the north and east, and to elevated bushland in the west.

The watercourses are fringed by narrow corridors of remnant vegetation, that give way to largely modified rural and agricultural landscapes.

It is this combination of landscape characteristics that typify the Swan Valley as a riverine farming area, and provide a direct contrast to the more intensive urban landscapes that are becoming increasingly predominant on the Valley's southern and western boundaries.

These characteristics are also making the area increasingly attractive to local and international visitors, and must be protected if the growing tourism industry is to be sustained.



2.4 Economic Environment

The Swan Valley economy is in a transitional phase characterised by a softening agricultural industry and growing tourism sector.

The dominance of agriculture in the Australian market has declined in recent years. This trend is exacerbated in the Swan Valley by the comparatively small size of the region, limiting the potential to achieve economies of scale, and recent changes to import settings directly affecting the profitability and competitiveness of the table grape industry.

By contrast, the contribution of tourism related industries (accommodation and food) to the Swan Valley economy increased significantly from an estimated \$14 million in 2006 to \$20 million in 2011.

The successful transition to a new economic model for the Swan Valley based around food, beverage and tourism will require strong industry commitment and a clear economic strategy. Strategic positioning of the Swan Valley to take full advantage of the following market opportunities is essential.

Wine industry

The scale of the Swan Valley wine industry makes it less suitable for the high production volumes generated by its local competitors in the Margaret River and Great Southern regions.

Rather than continuing to try and compete in this market (which is also saturated by imported product), the Swan Valley wine industry has an opportunity to create a boutique image that focuses on its status as the oldest wine producing region in Western Australia and its proximity to a growing local visitor market.

A key element of this strategy is to differentiate the Swan Valley from other regions by focusing on the production of higher quality wine more suited to the local terroir, and shifting the industry image to a more exclusive product.

Under this strategy, it is expected that the Swan Valley wine industry will achieve more effective market penetration through major retailers, and attract greater interest from independent liquor stores and more exclusive wine outlets. Product specialisation will also improve the positioning of cellar door sales to the higher value tourism market.

Underpinning this strategy is a strong commitment to the protection of regional integrity. It is somewhat axiomatic that the development of an identifiable Swan Valley brand and quality image requires wine makers to prioritise the use of locally grown grapes in their wines, accepting that some augmentation of supply from outside the Swan Valley region may be required.



2.4 Economic Environment (cont'd)

Food Industry

Similar to the wine industry, the demand for food products that are authentic and can be traced to their source is growing. Consumers are becoming increasingly discerning and are prepared to pay a premium for food products with a clear and identifiable provenance.

The Swan Valley is ideally placed to capitalise on this local food movement, and contribute to a regional brand based on high quality, locally grown product. While it is expected that some food will need to be sourced from outside the region in the short term, a commitment to locally sourced produce will be essential to the development of a strong, long-term Swan Valley brand.

This trend is not new, and a number of local businesses have already built reputations based around a quality wine and food experience.



Brewing and Distilling

A more recent trend to emerge in the Swan Valley is the growth in micro-brewing and distilling. Micro-brewers such as Duckstein Brewery, Elmars in the Valley, Feral Brewing Company, Ironbark Brewery and Mash Brewing Company have become popular destinations with a business model built around good food and award winning boutique beers.

Newer entrants to the Swan Valley, Great Northern Distillery and Wild Swan Distillery are further evidence of a growing market of more discerning consumers that are seeking out locally produced alternatives to the traditional major suppliers.

Like their wine-making counterparts, micro-breweries and distilleries play an important role in attracting visitors to the region and promoting the Swan Valley brand. Unlike wine producers, however, they do not have the same productive relationship with the land and, arguably, do not make the most effective use of what is a high quality rural and agricultural resource.

Micro-breweries and distilleries are therefore encouraged to develop their businesses in such a way that contributes positively to the desired landscape and built aesthetic of the Swan Valley and, where possible, uses available agricultural land in its production process, or makes available any unused land for productive agricultural use by others through leasehold or similar arrangement.

Tourism

Tourism is a vital industry to the Swan Valley, being the backbone of its economic viability both now and into the foreseeable future. Although there is no settled statistical definition of what constitutes the tourism industry, as evidenced above it has become a dominant factor affecting every industry in the Valley.

For the Swan Valley to re-brand itself as one of the premium tourism destinations in Western Australia, it needs to be able to offer a unique visitor experience to a wide range of potential visitors. One of the strengths of the Margaret River tourism experience is the diverse range of products and activities it has to offer.

Events and functions in the Swan Valley are becoming increasingly popular as traditional production-focused businesses such as wineries move to a more tourism oriented business structure. Importantly, the promotion of future event and function tourism, and the development of supporting infrastructure, must consider and be complementary to the rural setting of the Swan Valley, and not be of a scale that causes significant disruption to neighbouring industries or conflicts with other users of the Valley. Event and visitor management will become increasingly important as the popularity of the Swan Valley grows.

The hospitality industry is one of the economic mainstays of the Valley. As noted above, the food and beverage sector makes a significant contribution to both the visitor appeal and economic base of the Swan Valley. As the region continues to grow as a branded tourism destination, it is expected that the hospitality industry will broaden its offering from primarily a lunch or coffee and cake service, to cater for late night dining and breakfast demand.

Essential to the continued growth of tourism in the Swan Valley is the provision of quality accommodation. For the region to establish itself as a successful competitor to Margaret River or any other food, beverage and tourism destination it needs to develop an accommodation industry to cater for increased tourism numbers outside of the existing visitor market. Tourism accommodation also provides the opportunity for businesses in the Swan Valley to diversify their economic base and improve viability. The Development Plan encourages the introduction of tourism accommodation of a form and scale that complements the rural character of the Swan Valley.



2.4 Economic Environment (cont'd)

General Agriculture

Notwithstanding the transition to a new economic model based on food, beverage and tourism, land in the Swan Valley remains highly suitable for general agricultural production. Changes to quarantine settings will likely see some businesses exit from the traditional table grape industry, while others may evolve to service the growing local food movement and tourism sectors.

Business and stakeholder consultation conducted by the Department of Planning in 2012 identified a perceived high potential for diversification of agricultural production, including into specialty products, value adding to local agricultural products through processing and manufacturing, and exploitation of the community's increasing desire for fresh, local, sustainably grown produce. Respondents identified a range of potential interventions to support further growth of agricultural production in the Swan Valley, a number of which are able to be addressed in the Development Plan, including:

- restricting subdivision of priority agricultural land;
- preserving land zoned rural for rural use and for productive agricultural activities;
- facilitating the development of agritourism compatible with agricultural production and activities; and
- improving sustainable practices for agriculture, including increased energy and water efficiency.

Equestrian industry

The equestrian industry in the Swan Valley is well recognised in the region and currently exists as a strong stand-alone destination attraction to those with a direct connection to the industry. The State Equestrian Centre is located in adjacent Brigadoon, and provides an important focus for the local industry.

Traditionally there has been limited interaction between the equestrian and tourism industries in the Swan Valley. However, there are indications that this is beginning to change as increasing numbers of equestrian operators seek to make a connection with the tourism industry by providing services such as horseback tours and horse riding lessons.

The equestrian industry makes a positive contribution to the rural character of the Swan Valley, and further interaction between operators and their companion agricultural and tourism industries is supported.

Importantly, the Development Plan recognises that equestrian use and livestocking generally can have a detrimental impact on land and water supplies if not managed appropriately, and therefore guards against overstocking and encourages a best-practice land management approach.

2.5 Built Environment

The term built environment is used to describe all man-made structures in the Swan Valley - houses, sheds, wineries, civic buildings, etc. Like the natural environment, the built environment differentiates the Swan Valley from its urban surroundings and has an important influence on the quality of experience for both residents and visitors.

Many food and beverage tourism regions have either exploited or specifically developed a recognisable built vernacular or architectural style, that contributes to the branding and marketing of the region and adds to the visitor experience.

The Swan Valley has evolved with a built character that is typical of rural areas - a relatively dispersed and low density distribution of built structures, a predominance of rural sheds and outbuildings, and the introduction of larger sheds and structures that accommodate agricultural production and tourism activities. However, rather than a consistent architectural style, the Swan Valley presents a mix of traditional Australian, European migrant and contemporary suburban built forms.

There are signs that this traditional diversity of styles is giving way to a more consistent theme, particularly with new hospitality and tourism developments. A stronger emphasis on architectural design and the application of natural building materials as part of a contemporary 'vineyard' palette, are indicators of an industry responding to a growing hospitality and tourism market.

The Development Plan supports this emerging focus on design quality through both built form guidance and, where necessary, development controls.

Heritage Buildings

An important part of the Swan Valley history is recorded in its built heritage. The State Register of Heritage Places contains twelve permanent listings for the Swan Valley.



These places are afforded the highest level of protection under the *Heritage of Western Australia Act 1990*, and any proposal that is likely to impact on a listed property must be referred to the Heritage Council of Western Australia for formal consideration.

2.6 Land Use Zones

To support the future vision and strategy and provide increased investment confidence, the Development Plan has revised and normalised the planning structure for the Swan Valley.

The Development Plan replaces the former 'planning areas' with land use zones, applying terminology that is consistent with the local planning scheme and metropolitan region scheme. The Development Plan has identified the following zones to inform land use and development in the Swan Valley (see Figure 3). A detailed description of each zone and its objectives is included in Appendix 1.

Swan Valley Rural Zone

The Rural Zone includes approximately 6,500 hectares of land formerly identified as planning areas B and C. The purpose of the rural zone is to manage land use change so that the specific local rural character of the zone is maintained or enhanced.

Definition of Rural Character

“The distinctive combination of qualities that make an area ‘rural’ rather than ‘urban’. These include the dominance in the landscape of primary production and natural landscape regimes and the absence or subservience of man-made structures other than those related to the primary use of the area for which the land is zoned.”

For the purpose of the Development Plan, rural character is defined as:

“The distinctive combination of qualities that make an area ‘rural’ rather than ‘urban’. These include the dominance in the landscape of primary production and natural landscape regimes and the absence or subservience of man-made structures other than those related to the primary use of the area for which the land is zoned.”

The Rural Zone protects broad acre agricultural activities such as cropping and grazing and intensive uses such as viticulture and horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they are compatible with the primary use.

Tourism development is supported in the Rural Zone where it is incidental to the primary use of the land and is of a scale and style that is sensitive to the rural character of the Swan Valley.

Keeping of livestock is permitted in the Rural Zone and must be undertaken in a manner that is consistent with City of Swan policy *POL-TP-126 Rural Zones - Building and Development Standards*.

To maintain the rural character of the Swan Valley and provide for future agricultural use of the land, subdivision of lots into less than 4 hectares in area is not permitted in the Rural Zone. Refer to Appendix 3 for additional detail on subdivision.

For more detailed guidance on development and land use in the Rural Zone refer to Part B of the Development Plan.

Land Use Zones

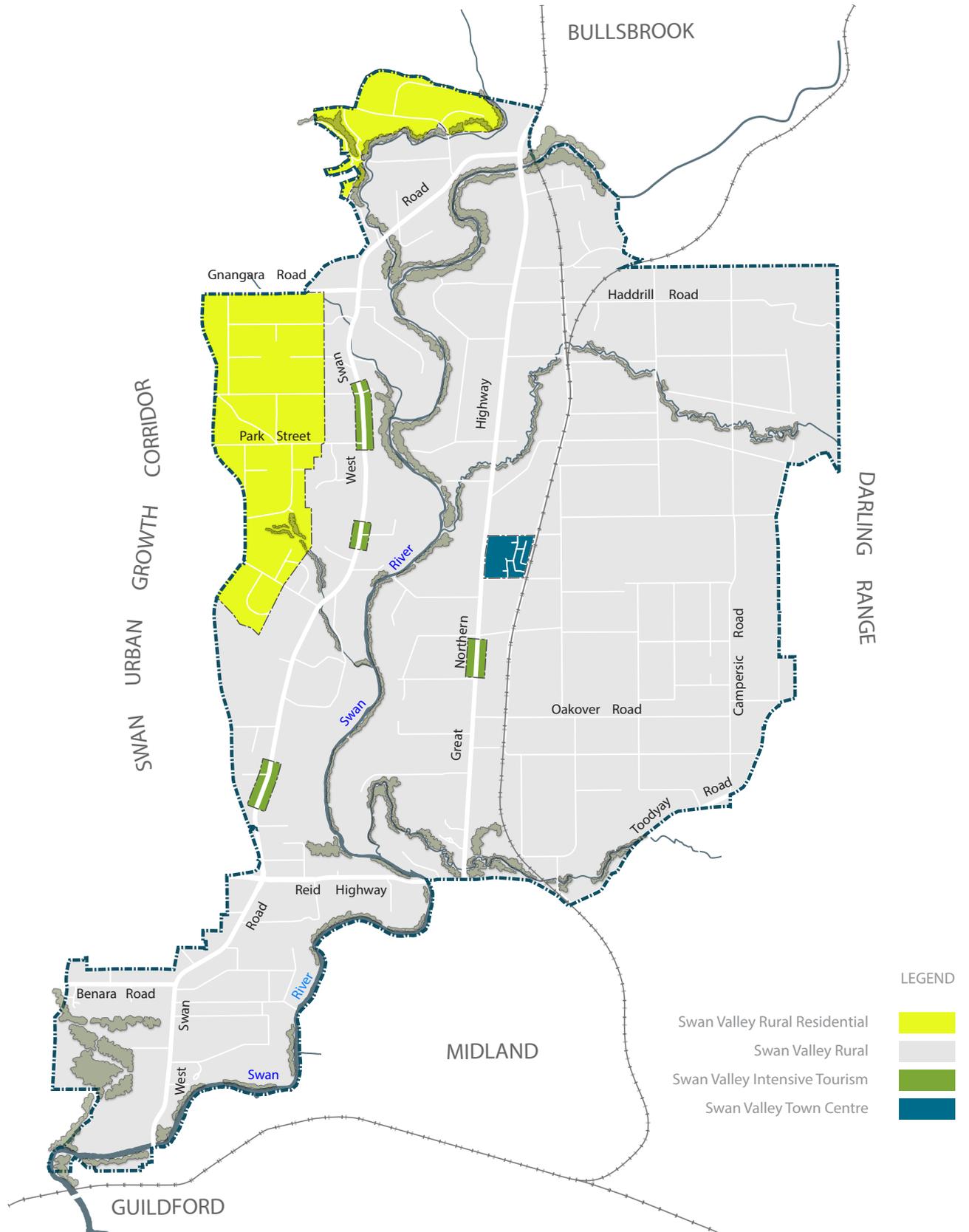


Figure 3: Land Use Zones

2.6 Land Use Zones (cont'd)

Swan Valley Rural Residential Zone

The *Swan Valley Planning Act 1995* (which will be repealed when the new Swan Valley Protection Act is gazetted) sets aside approximately 550 hectares of land in the Swan Valley for rural living (planning area A). This area provides an opportunity for people to live in the Valley who are not necessarily engaged in farming or agricultural production. The minimum lot size within planning area A is 2 hectares, and subdivision into lots less than 2 hectares is not permitted to protect the rural character of the Valley.

The Rural Residential Zone covers the same geographic area as planning area A. Extension of the Rural Residential zone is not supported to preserve the opportunity for future rural and agricultural use of land in the Rural Zone.

The purpose of the Rural Residential Zone is to provide for rural living in the Swan Valley on lots of a suitable size for hobby farming, small scale agricultural, horticultural or tourism activity, or cottage industry. Subdivision of lots into less than 2 hectares in the Rural Residential Zone is not permitted. Refer to Appendix 3 for additional detail on subdivision.

It is important that development and use of land in the Rural Residential Zone does not compromise the environmental characteristics of the landscape, including landform, water resources, remnant vegetation and native fauna.

For more detailed guidance on development and land use in the Rural Residential Zone refer to Part B of the Development Plan.

Swan Valley Intensive Tourism Zone

Tourism development is permitted in the Rural and Rural Residential zones where it is incidental to the primary use of the land and is of a scale and style that is sensitive to the rural character of the Swan Valley.

In addition there are a number of specific areas in the Swan Valley that have become more intensively developed as tourism and visitor nodes, particularly along West Swan Road and Great Northern Highway. While these areas contribute to the Swan Valley experience the Development Plan does not support their uncontrolled spread due to the potential for traffic conflict and associated impacts on access and movement.

The Development Plan identifies an Intensive Tourism Zone to provide guidance for further controlled development in these areas. Subdivision of lots into less than 4 hectares in the Swan Valley Intensive Tourism Zone is not permitted. Refer to Appendix 3 for additional detail on subdivision.

The Intensive Tourism zone provides for the clustering of development and activities that have a tourism or visitor attraction focus. These areas are typically located immediately adjacent to district or regional roads that are capable of accommodating the volumes of traffic generated.

To avoid traffic conflict, specific attention is given to the planning and design of shared access and parking arrangements in the Intensive Tourism Zone. Where possible these areas will be posted with a reduced vehicle speed to further reduce the risk of conflict.

For more detailed guidance on development and land use in the Intensive Tourism Zone refer to Part B of the Development Plan.

LEGEND	
Main street retail	
Highway service industry	
Medium Density/Aged housing	
Additional residential subdivision	
Existing buildings	

Swan Valley Town Centre Zone

The Development Plan identifies a Town Centre zone which includes the townsite of Herne Hill and corresponds with the area currently zoned Urban under the Metropolitan Region Scheme, and a combination of Residential, Recreation and Private Clubs and Institutions under the City of Swan Local Planning Scheme.

The purpose of the Town Centre zone is to consolidate existing residential, commercial and community activities at Herne Hill, and refocus them as part of a dedicated and identifiable rural town. The zoning supports the continued development of Herne Hill as a typical Western Australian rural town - located adjacent to a state highway; a main street with local convenience retail; a complementary mix

of residential, aged persons accommodation, community and highway commercial land uses; and the potential for future passenger rail connection via the Avon Link service. In addition, the zoning provides for Herne Hill to become a central focus for visitors to the Swan Valley, with the potential for a Swan Valley visitor centre, farmers markets, food and beverage hospitality outlets, and town-based tourist accommodation.

A concept master plan has been prepared to illustrate the potential for consolidation of Herne Hill into a vital rural town (see Figure 4). The City of Swan will develop a local structure plan for the town centre to guide future subdivision and further development.



Figure 4: Herne Hill Concept Master Plan

2.7 Movement & Access

The movement network in the Swan Valley services a number of competing users. Great Northern Highway and West Swan Road in particular carry large volumes of traffic as commuter roads during morning and afternoon peak periods, as access routes for local and regional freight traffic, as tourism drives for the increasing number of visitors to the Swan Valley, and as local roads for residents and businesses.

A strategic approach to movement and access is necessary to ensure the Swan Valley remains accessible, and the potential for conflict between competing user groups is minimised (see Figure 5).

Freight Traffic

Completion of the NorthLink WA project (Perth-Darwin National Highway) in 2019 will result in a reduction in the volume of freight traffic on Great Northern Highway in the short to medium term. Great Northern Highway will continue to carry a proportion of Over Size-Over Mass and High-Wide Load traffic and will remain an important part of the state's freight network into the future. However, government will be mindful of managing future demands on the Swan Valley road network.

The Development Plan acknowledges the continuing freight role of Great Northern Highway and restricts the further incremental development of active land uses along the Highway to identified nodes, in particular the Herne Hill townsite.

At the same time, the Development Plan has identified the need for active traffic management in targeted locations to ensure heavy vehicle traffic does not conflict with other important road users. This includes the introduction of traffic lights at the intersection of Great Northern Highway and McDonald Street, and a reduced speed zone from Argyle Street to McDonald Street.

Commuter Traffic

Unlike freight traffic, general commuter traffic has greater flexibility to move to routes that are more direct or convenient. Planning for commuter traffic is also different to freight as it is not constant, placing pressure on the road network during daily peak periods but generating much lower volumes at other times of the day.

The construction of planned regional and district roads outside of the Swan Valley will reduce traffic volumes on West Swan Road, and help to mitigate the potential for traffic conflict during peak periods. NorthLink WA and Henley Brook Avenue in particular will become attractive alternatives to West Swan Road for commuter traffic.

Given the variability of commuter traffic movements and the introduction of new route choices, the Development Plan does not identify any specific interventions with regard to commuter traffic.

Tourism Traffic

Tourism traffic has a different set of characteristics again. Unlike freight and commuter traffic, much of which passes through the area, tourism and visitor traffic has the Swan Valley as its primary destination. As is typical of many tourism regions, traffic volumes are higher on weekends and during major events but reduce significantly outside of those times. Driver behaviour is also different with tourists often travelling at variable speeds as they explore the region and stop at multiple destinations.

In recognition of these characteristics, the development identifies a hierarchy of routes that can accommodate both the high volume weekend and event traffic, and the variable nature of tourist driver behaviour:

- West Swan Road and Great Northern Highway provide a circuit around the Swan Valley for those visitors who want to explore the entire region.

Movement and Access

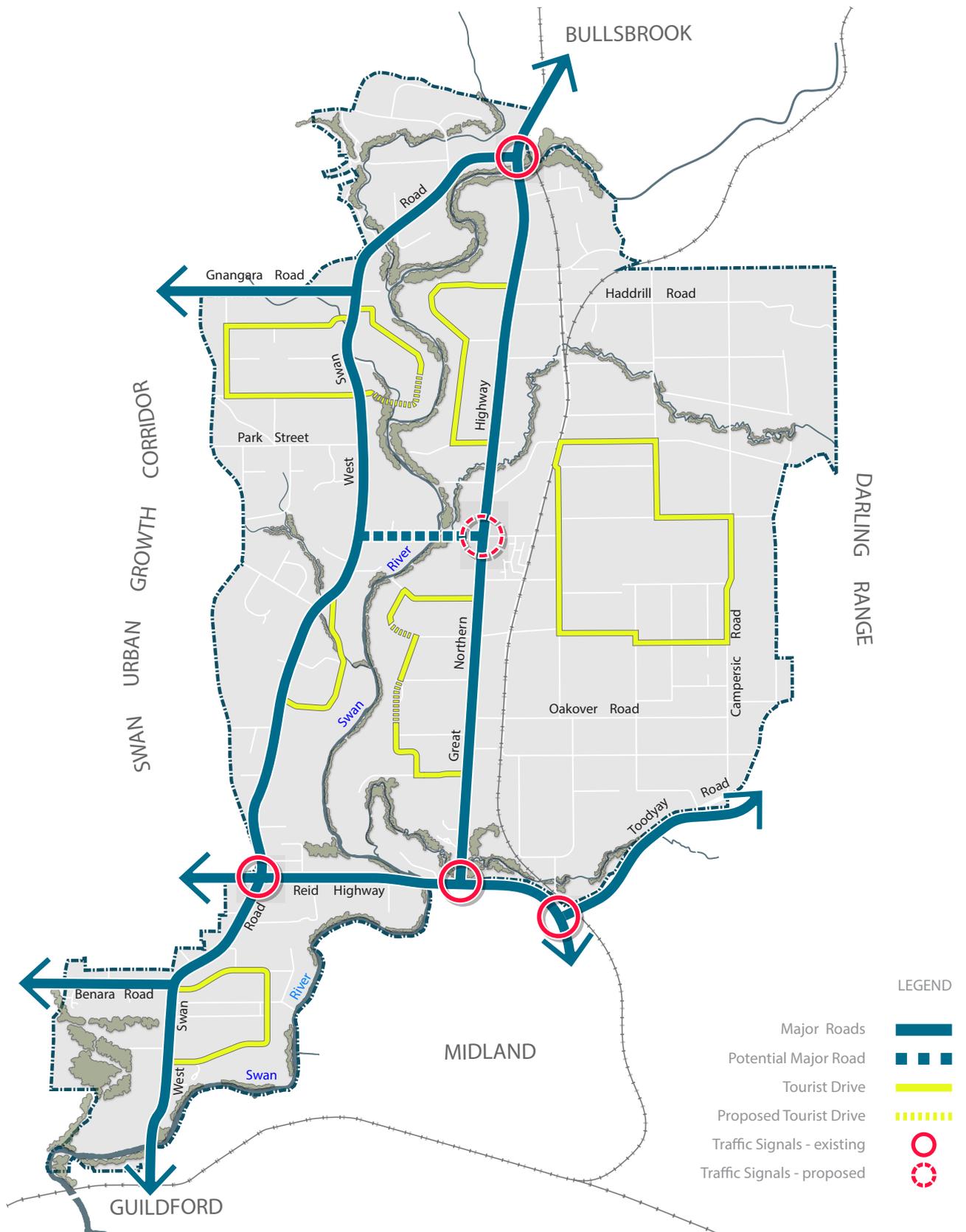


Figure 5: Movement and Access

2.7 Movement & Access (cont'd)

- The potential introduction of a new bridge link across the Swan River mid-way up the Valley, providing better connectivity between the west and east sides of the Valley and an important local connection to Herne Hill. This is identified as a medium term intervention (15 years plus).
- The introduction of 'tourist drives' that take visitors off major roads and allow them to explore the rural character and picturesque landscapes of the Valley. The tourist drives utilise local roads that, in the most part, have already become popular for visitors. Where possible, the Development Plan has identified opportunities for linking these local roads to increase the length of the tourist drive and improve the visitor experience. Planning of these linkages will take place over the short to medium term (5-10 years) and will address preferred location, land acquisition and construction matters.

Local Traffic

Importantly, the access and movement network needs to function effectively for people who live and work in the Valley. It is expected that the initiatives proposed within and outside the Development Plan area will improve the situation for local road users by reducing peak congestion and moderating the impacts of both freight and intensive tourism traffic.

Pedestrians and Cyclists

The gently undulating landform of the Swan Valley makes it an ideal location for recreational cycling and walking. There are approximately 10 kilometres of formal shared-use paths within the Valley that accommodate both cyclists and pedestrians. A major section of shared-use path runs along West Swan Road from Guildford Train Station to Henley Street, with a spur connecting to the Maali footbridge over the Swan River.

There are also many kilometres of sealed hard shoulder (suitable for more experienced cyclists), as well as quiet, scenic, cycle and pedestrian friendly back roads.

This variety of treatments is typical of rural-based tourism regions, with a mix of formal and non-formal infrastructure providing both high-order access and low-key rural experience. The Development Plan reinforces this approach by proposing:

- extension of the shared-use path along the full length of West Swan Road and Great Northern Highway, and ultimately across the proposed new road connection from West Swan Road to Herne Hill;
- the introduction of wayfinding signage to identify the best low-key, scenic cycling roads throughout the Valley; and
- the introduction of end of trip facilities at Herne Hill and other key locations around the Valley.



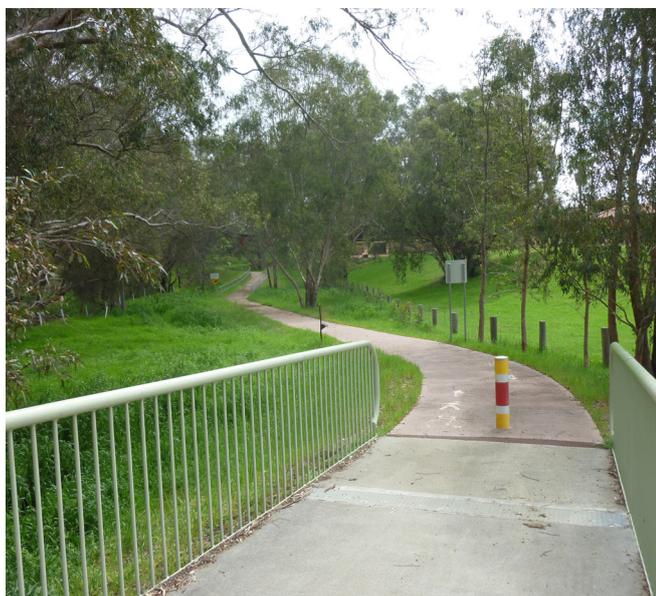
2.8 Public Open Space

There is currently limited provision of dedicated public open space within the Swan Valley, which is typical of rural and agricultural regions where the majority of available land is prioritised for agricultural use. However, the lack of local open space is partly offset by the existence of regional parks and recreation reserves east of the Valley along the Darling Escarpment and north of Guildford around Lilac Hill park.

There are a number of smaller parks and recreation reserves located around the valley that cater for local sporting needs and provide some, albeit limited, opportunities for passive enjoyment of the Swan River.

The Development Plan does not propose the introduction of any new areas of active open space, but encourages the consolidation and better utilisation of existing reserves, particularly the existing privately-owned playing fields at Herne Hill.

The Development Plan recognises the importance of providing better access to the Swan River. Further investigations will be required to identify potential locations for new access points, and to assess the feasibility of establishing parks in these areas.



2.9 Services & Infrastructure

Typical of rural and farming regions, the Swan Valley has limited provision of mains services, particularly water and sewer. This has limited the scale and intensity of development that might otherwise have occurred had the area been fully serviced.

An Infrastructure and Servicing Strategy was commissioned by the Department of Planning as input to the Development Plan. The purpose of the report was to:

- determine the capacity of existing infrastructure and assess its ability to service the type of development proposed in the Swan Valley Development Plan;
- identify what infrastructure upgrades will be required to service future development; and
- provide indicative design solutions and costs for the required infrastructure works.

The strategy identified the following interventions to support redevelopment of the Herne Hill Town Centre:

- upgrade of potable water infrastructure;
- construction of a centralised wastewater treatment plant and the development of a wastewater reticulation network (including a pumping station);
- upgrade of electricity infrastructure, including switching stations and transformers; and
- upgrade of stormwater management infrastructure, including the construction of a pit and pipe network and detention basins.

The strategy also considered the scope of works necessary to deliver the movement and access network set out in section 2.7. The strategy will be used to inform preparation of the Herne Hill local structure plan and progressive upgrade of infrastructure and services in the Swan Valley.

PART B DEVELOPMENT & LAND USE

Development & Land Use

Purpose of Part B

Successful delivery of the Swan Valley vision and strategy will require a continued commitment from producers and operators to build the Swan Valley brand, and broaden the economic base from traditional agricultural production to a more diverse food, beverage and tourism model.

Equally important, however, is the commitment necessary from approval and compliance authorities to maintain a level of natural and built amenity commensurate with one of the regions most important visitor destinations, and reject or discourage development and land use that is incompatible with the rural character and amenity of the Valley.

Part B of the Development Plan sets out a series of guiding principles and development checklists that are focused on preserving and enhancing the natural environment, while promoting development and land use that positively contributes to the character of the Swan Valley.

How to use Part B

Both the City of Swan Local Planning Scheme and the Metropolitan Region Scheme will be amended to reflect the Development Plan, in particular the development and land use provisions set out in Part B.

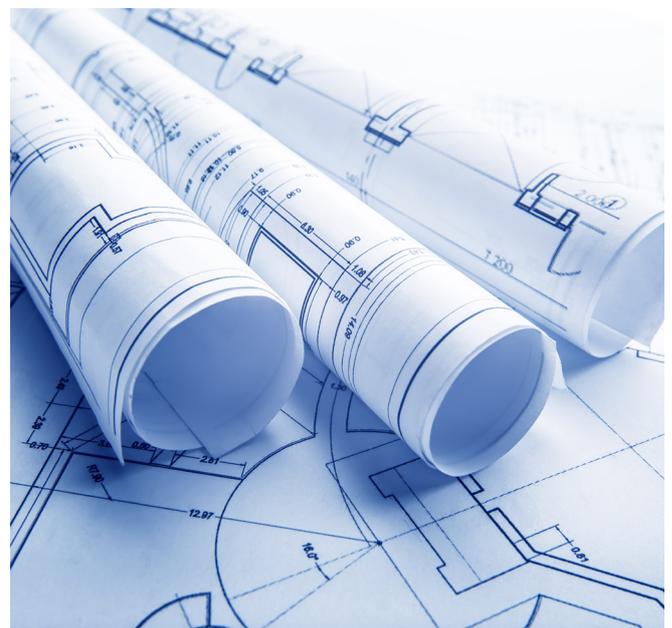
As outlined in section 1.2, proponents should follow the normal process of submitting applications to the City of Swan (for development approval) or the Western Australian Planning Commission (for subdivision approval). However, when preparing their applications, proponents should review Part B of the Development Plan to ensure their proposals are consistent with the objectives and expectations for planning and development in the Swan Valley.

Alignment with the Local Planning Scheme

The City of Swan has developed a broad suite of policies to guide planning and development across its municipality. Part B of the Development Plan draws from those policies the key elements that relate specifically to the Swan Valley and augments them with further policy guidance and development control provisions where necessary.

When local policies are updated, the City of Swan will ensure they align with the provisions set out in Part B of the Development Plan in order to maintain a consistent approach to development and land use in the Swan Valley. Similarly, state government agencies must ensure that any state policies that impact on the Swan Valley are consistent with and support the intent of the Development Plan.

The Development Plan includes guidance on matters that are considered important for the promotion of rural character and amenity, thereby contributing to the Swan Valley vision, but is not an exhaustive list of all policies and regulations that must be adhered to when undertaking development in the Swan Valley. Individual proponents are responsible for ensuring that their proposals address all relevant statutory and policy requirements.



Structure of Part B

For ease of reference, Part B of the Development Plan has been separated into the following sections:

- Natural Environment
- Built Environment; and
- General Provisions

Each section contains a series of sub-sections that address planning and development matters specific to the Swan Valley.

Each sub-section identifies a set of **Guiding Principles** that give both proponents and decision making authorities a clear understanding of the intent and expectation for development and land use in the Swan Valley.

Each sub-section also includes a **Development Checklist** that should be used and interpreted as follows:

-  Mandatory items that are required to be addressed by proponents under the City of Swan Local Planning Scheme, the Metropolitan Region Scheme or other statutory instruments.
-  Recommended items that provide an accepted approach to addressing an identified issue. If proponents elect not to follow the accepted approach, they must clearly demonstrate how their proposal otherwise satisfies the Guiding Principles.
-  Items that are not supported in the Swan Valley.

Swan Valley Development Plan - Part B

- Part B of the Development Plan sets out a series of guiding principles and development checklists that are focused on preserving and enhancing the natural environment, while promoting development and land use that positively contributes to the character of the Swan Valley.
- Both the City of Swan Local Planning Scheme and the Metropolitan Region Scheme will be amended to reflect the Development Plan, in particular the development and land use provisions set out in Part B.
- Part B of the Development Plan draws from existing City of Swan planning and development policies and augments them with further policy guidance and development control provisions where necessary.





3.0 Natural Environment

As outlined in section 2.3, protection of the natural environment is an essential part of the Swan Valley vision and strategy. Beyond the importance of maintaining and enhancing local ecosystems, the natural environment is one of the key elements that contribute to the rural character of the Swan Valley. In addition the natural environment, in particular the underlying soils and groundwater, is integral to the future of agricultural production in the Valley and must be managed accordingly.

The Development Plan recognises the ecological, aesthetic and productive importance of the natural environment and sets out guiding principles and development checklists to be observed in relation to:

- Landscape protection
- Groundwater protection
- Watercourse protection
- Landform protection; and
- Tree protection

3.1 Landscape Protection

Objective

To ensure that the development and use of land is undertaken in a way that is sympathetic to the unique landscape features of the Swan Valley.

Guiding Principles

- i. To ensure that development and land use does not have a detrimental impact on the Swan Valley landscape;
- i. To preserve the ecological and aesthetic value of the Swan Valley's natural landscapes;
- ii. To preserve the ecological and aesthetic value of remnant coastal woodlands;
- iii. To preserve and enhance the traditional pastoral and agricultural landscapes that characterise the Swan Valley; and
- iv. To preserve and promote the scenic quality of the Swan Valley landscape for the continued enjoyment of locals and visitors;

Development Checklist



All development proposals that include a tourism development component (refer Appendix 5.0) exceeding 300m² in gross floor area, or propose a reduction in development setbacks, must be accompanied by a landscape management plan. The landscape management plan must be prepared by a qualified practitioner and include as a minimum:

- An assessment of the landscape features and values of the area;
- An analysis of the existing vegetation, detailing type, location and condition. Such report is to detail any requirements for preservation and enhancement of vegetation (particularly native trees) during development;
- An assessment of any visual impact the development may have from major roads, tourist routes, and other public areas; and
- A clear strategy for mitigating any impacts the development may have on the landscape, which may include;
 - a. scale and siting of built structures
 - b. colours and materials
 - c. screening and landscaping treatments
 - d. use of natural landform and existing landscape features to minimise impacts
 - e. drainage and erosion controls



3.2 Groundwater Protection

Natural Environment

Objective

To preserve the quality and quantity of groundwater in the Swan Valley for both its intrinsic ecological value and its use as an important productive resource.

Guiding Principles

- i. To manage the Swan Valley groundwater regime:
 - Maintain appropriate aquifer levels, recharge and surface water characteristics for the following beneficial uses (in order of priority):
 - a. ecosystem protection
 - b. agricultural production
 - c. recreation and aesthetics.
 - Avoid development and land use that requires significant volumes of groundwater that is not already licensed or is not aligned with the rural and tourism priorities of the area.
 - Support the trading of licenced ground water allocation to achieve the objective.
- ii. To maintain and, where possible, enhance groundwater quality:
 - Minimise the export of pollutants such as phosphorus and nitrogen to surface or groundwater.
 - Prevent groundwater acidification processes.
 - Minimise the export and impact of pollution from sewerage.
- iii. to encourage water conservation:
 - Promote the use of groundwater as a scarce resource that requires careful management
 - Encourage the use of best practice irrigation practices and technologies to minimise groundwater extraction.
 - Encourage the use of non-irrigated crops.

Development Checklist

- All development and land use proposals that are groundwater reliant must be licensed to take water under the *Rights in Water and Irrigation Act 1914*, with sufficient water allocation to support the proposed use.
- All development and land use proposals that are groundwater reliant should demonstrate the application of best practice water conservation approaches, which may include:
 - the use of low flow and micro-irrigation systems;
 - planting of low water demand and drought tolerant crops;
 - localised groundwater recharge via infiltration ponds and galleries; and
 - rainwater harvesting for use in production or for aquifer recharge.



3.3 Watercourse Protection

Objective

To ensure the environmental values of the Swan River and its tributaries are not negatively impacted by development and land use.

Guiding Principles

- i. To avoid interference or obstruction of the water, bed or banks of watercourses.
- ii. To minimise disturbance to riparian vegetation, riparian zones and flood plains.
- iii. To mitigate the risks or impacts from site disturbance, including erosion, sedimentation, weed introduction, vegetation clearing, loss of habitat and changes to ecological values.
- iv. To prevent the discharge of pollutants and materials into watercourses.
- v. To rehabilitate or revegetate any development site following construction to maintain or improve riparian zone function.

Development Checklist

- ✓ Any development or land use proposal that is likely to interfere with the bed or banks of a watercourse may require a permit from the Department of Water.
- ✓ Any development or land use that is within, or affects waters within, the Swan development control area must be referred to the Swan River Trust for assessment under the *Swan and Canning Rivers Management Act 2006*.
- ✓ Any development or land use that is proposed within the Swan River floodplain must demonstrate, to the satisfaction of the Department of Water, that it:
 - has adequate flood protection from a 100 year average recurrence interval (ARI) flood; and
 - does not detrimentally impact on the existing 100 year ARI flooding regime for the general area.
- ✓ Development adjacent to watercourses must incorporate appropriate measures to minimise runoff and erosion and to protect water quality, including:
 - provision of stormwater runoff and erosion control in accordance with the Department of Water's Stormwater Manual; and
 - planting of local native vegetation to provide nutrient stripping and to act as a barrier to seepage and runoff.Such measures should be commensurate with the scale of the development and the level of potential adverse impact on the watercourse



3.4 Landform Protection

Natural Environment

Objective

To encourage development that responds sympathetically to the natural landform and does not propose significant alteration of the landscape.

Guiding Principles

- i. To encourage development that is sympathetic to the existing landform, and does not significantly alter the land through engineered devices;
- ii. To ensure that any excavation or filling of land is minimised and does not adversely impact on the amenity, physical environment or natural features of the locality in which it is being undertaken.
- iii. To employ land retention techniques that work with rather than impose upon the existing landform.



Development Checklist

- Any application for filling or excavating land greater than 1.0 metres above or below existing ground level must be accompanied by the following information:
 - A scaled site plan showing existing ground levels, physical features of the site, land use, buildings, significant vegetation and existing contours;
 - A scaled plan showing the proposed finished levels and extent of fill or excavation on site in relation to property boundaries.
 - A detailed description of the reason for the fill, and the type and source of fill to be used.
 - Council may also require a scaled plan showing cross-sections of the proposed fill and batter in relation to existing ground levels.
- Where the filling of any land (either incrementally or as a whole) would cause the proposed finished level to be more than 1.0m above the original existing ground level, the applicant shall submit a detailed assessment of the impacts of the proposal on existing natural drainage patterns in the locality. This assessment shall be prepared by a suitably qualified engineering consultant and shall be submitted in addition to the information required above.
- Filling of land will not be supported where it would substantially alter existing surface drainage patterns.
- There is a general presumption against filling of any wetland or watercourse.
- Where practicable vegetated batters using natural materials are preferred to vertical retaining walls.

3.5 Tree Protection

Objective

To encourage the preservation and enhancement of existing trees and remnant woodland, and the planting of indigenous trees in the Swan Valley.

Guiding Principles

- i. To recognise the intrinsic value of trees to the health and diversity of natural ecosystem.
- ii. To recognise and promote the important contribution that established trees and woodlands make to the rural character and amenity of the Swan Valley.
- iii. To protect, unless removal is absolutely unavoidable, existing stands of trees and woodlands.
- iv. To encourage the planting of indigenous tree species generally, where practicable, and more specifically along road frontages, lot boundaries and watercourses.
- v. To generally limit tree removal only to those trees assessed as presenting a danger to people and property.

Development Checklist

-  Remnant vegetation shall not be removed, or modified in any way, except with the approval of the Council and where, in its opinion, the removal is necessary in the following circumstances:
 - not a local indigenous species;
 - dead, diseased or constitutes an immediate threat to life or property;
 - for fire fighting purposes or construction of strategic fire breaks;
 - required to be removed in order to carry out a development for which planning approval and/or a building licence has been issued;
 - within 2 metres of a sewer or water main or effluent disposal system and where the tree or vegetation has caused or is likely to cause damage or blockage to that system or network;
 - grown for commercial purposes;
 - being removed or disturbed as part of a native vegetation replanting program carried out with the City's approval; or
 - within the clearance distance from a power line or other power infrastructure as specified in Western Power guidelines or requirements or any other applicable guidelines or requirements.
-  No more than 10 per cent of a lot shall be cleared of vegetation without Council approval.

Natural Environment

-  In areas where the Council considers the land to be deficient in vegetation cover, the owner of the land may be required, as a condition of subdivision or other approval to commence development or adoption of a landscape plan, to plant and maintain vegetation to the specification and satisfaction of the Council.
-  All existing vegetation within 30 metres of a stream, creek, watercourse, flood plain, or permanent or seasonal areas of inundation, or on land which has slopes in excess of 20 per cent shall not be modified except with the approval of the Council.







4.0 Built Environment

The design, scale and location of buildings within the landscape contribute to the visual and contextual character of a region or place. As noted in section 2.5, the eclectic mix of typical rural, traditional Australian, European migrant and contemporary suburban built form that characterises the Swan Valley, is starting to be influenced by a stronger emphasis on architectural design and the application of natural and traditional building materials as part of a contemporary 'vineyard' palette.

This change is important to the growth of the Swan Valley as a food, beverage and tourism region and is the focus of section 4 of the Development Plan, which addresses:

- Tourism development;
- Sheds and Agricultural Buildings;
- Town Centre; and
- Single houses.

The Development Plan requires the submission of a development application for 'single houses' within the Swan Valley Development Plan area. A development application is required so that the City of Swan can assess proposals for 'single houses' against the 'Objectives', 'Guiding principles' and 'Development checklists' included in Section 4.3 of the Development Plan. Refer to Appendix 4 for additional information on residential development.

4.1 Built Environment - Tourism Development

Objective

For new tourism developments to positively contribute to the Swan Valley; to promote well-designed and sustainable buildings; and to cultivate an authentic contemporary rural vernacular in the Swan Valley as a key part of the visitor experience.

Architectural Character

Guiding Principles

- i. To develop an architectural character and built language that identifies the Swan Valley as a rural tourism region.
- ii. To promote quality design, the use of natural building materials, and the continued development of a built vernacular that references traditional and contemporary rural styles.
- iii. To encourage architectural design and the siting of buildings such that they make a positive contribution to the rural character of the Swan Valley.

Development Checklist

- All proposals for new tourism development (refer Appendix 5.0) in the Swan Valley must obtain development approval under the City of Swan Local Planning Scheme. Development applications must:
 - demonstrate compliance with relevant state and local development control policies;
 - demonstrate compliance with the Swan Valley Development Plan;
 - be accompanied by architectural plans, elevations and specifications detailing the proposed location, layout, scale and architectural style of the proposed tourism development;
 - demonstrate how the architectural character of the proposed tourism development relates to rural character, either by employing traditional stylistic features, such as pitched roofs, lean-to verandahs and gables, or contemporary reinterpretations; and
 - demonstrate how the proposed tourism development will make a positive contribution to, or mitigate any impacts on, the visual landscape.



Built Environment

Building Materials and Colours

Guiding Principles

- i. To employ building material and colour themes that are characteristic of the Swan Valley or complement the rural landscape.
- ii. To use building materials and colours that minimise visual impact on adjacent properties and streetscapes.
- iii. To use building materials and colours that achieve an optimum level of thermal performance.
- iv. To encourage the use of natural building materials and materials with low levels of embodied energy.

Development Checklist

- ✓ A schedule of proposed building materials and colours is to be included in any application to the City of Swan for a building licence.
- ✓ Recommended material themes include:
 - Galvanised iron and zincalume
 - Stonework, brick and tile
 - Timber
- ✓ Recommended colour themes include:
 - Federation green
 - Red oxide
 - Cream
- ✓ Bold colours should be used as highlights rather than large expanses.
- ✓ Where reflective materials are used, mitigate impacts by introducing screen planting where a reflective roof is proposed within 20m and $\pm 15^\circ$ northwards of a existing neighbouring building.



4.1 Built Environment - Tourism Development (cont'd)

Built Form

Guiding Principles

- i. To design built form that does not dominate the landscape and avoids or moderates the visual impact of oversized massing.
- ii. To avoid or moderate the impact of excessively large single building surfaces.
- iii. To design buildings that are of a height consistent with the existing built environment in the Swan Valley.
- iv. To ensure buildings on elevated or prominent sites do not visually dominate the surrounding landscape.
- v. To prevent the over-development of land for tourism purposes.

Development Checklist

- Developments with ground floor GFA exceeding 300sqm are divided into clustered smaller volumes or modified to give the appearance of smaller volumes.
- Building façades should use projecting or recessed volumes to modulate building bulk.
- Proposed developments should be a maximum of two-storey.
- Proposed development on an elevated or prominent site must not exceed a height of 6 metres above natural ground level.
- The City of Swan will consider development of tourist accommodation in the Swan Valley up to a maximum of:
 - 10 units per hectare on lots within the Swan Valley Rural Zone and Swan Valley Intensive Tourism Zone;
 - 2 units per lot within the Swan Valley Rural Residential Zone; and
 - as specified in the Herne Hill Local Structure Plan.



Built Environment

Figure 06: Variations of built form to reduce visual impact (floor area constant)

- A. Basic form
- B. Facade elements projecting or recessed
- C. Architectural detail
- D. Modified roof form

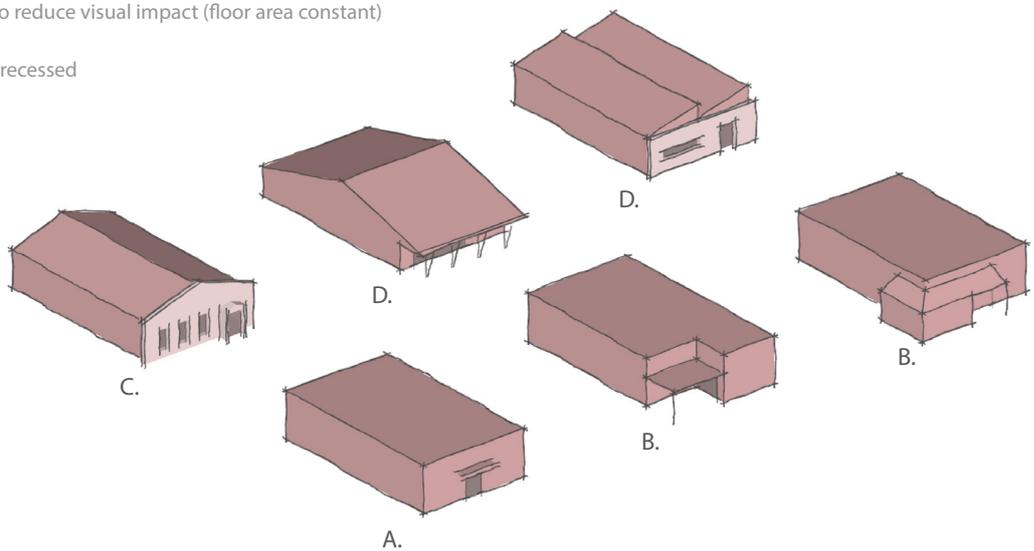
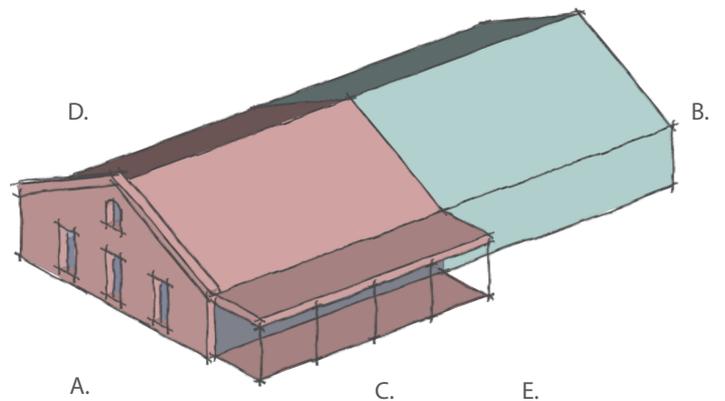


Figure 07: Principles for Tourism/Agricultural buildings

- A. Architectural detail oriented to primary street-frontage
- B. Utility structures oriented away from street
- C. Use building elements to delineate visitor / working areas
- D. Traditional building elements adapted to new forms
- E. Visitor parking / approach

- Tourism building component
- Agricultural building component



4.1 Built Environment - Tourism Development (cont'd)

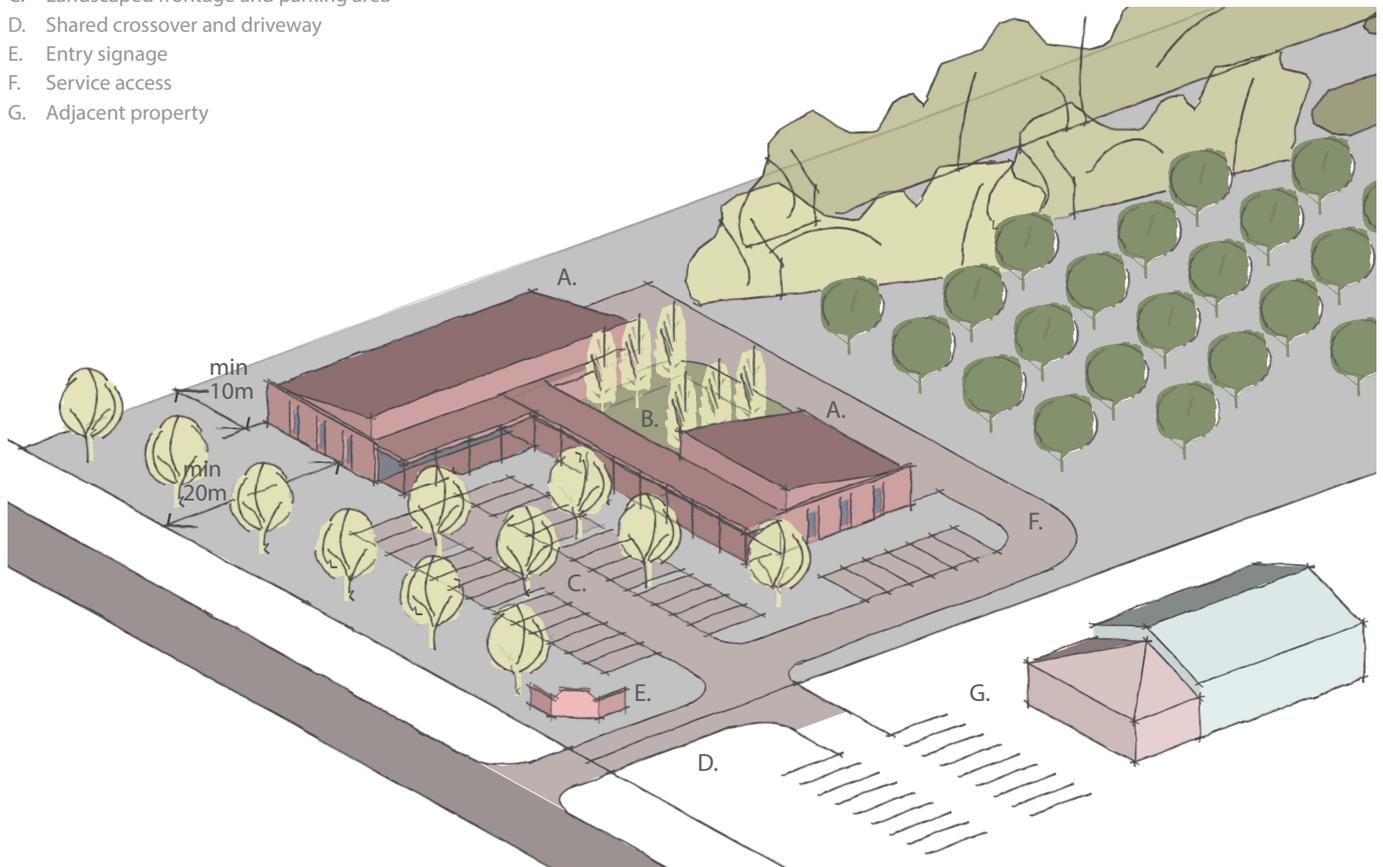
Applied principles - Tourism development

Description

Tourism development within the intensive tourism zone in a street-front configuration with productive agricultural use of the land behind.

Figure 08: Planning considerations

- A. Composition of separate elements
- B. Covered links and landscaped courtyard
- C. Landscaped frontage and parking area
- D. Shared crossover and driveway
- E. Entry signage
- F. Service access
- G. Adjacent property



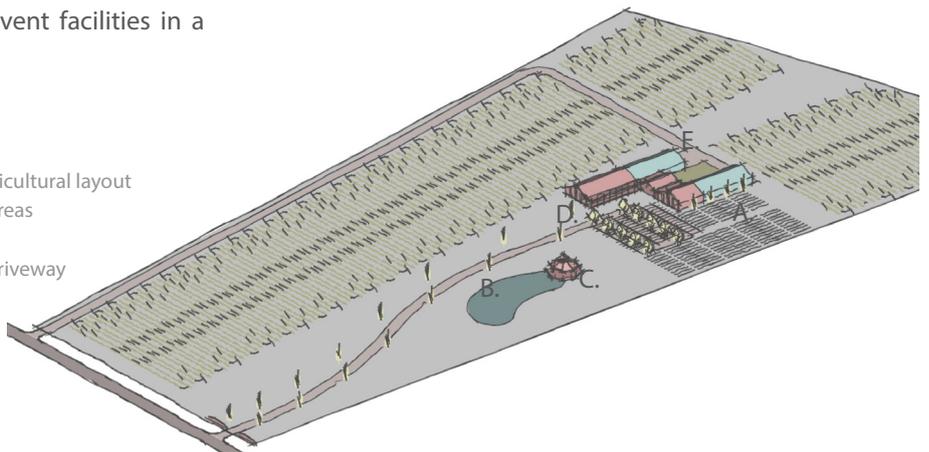
Applied principles - Tourism with production

Description

Large tourism development within a productive agricultural property, with a complex of structures including cellar door, restaurant, function centre and event facilities in a mid-block configuration

Figure 09: Planning considerations

- A. Facility sited according to topography and agricultural layout
- B. Mix of formal parking and informal overflow areas
- C. Landscaped grounds including event space
- D. Main architectural façades oriented towards driveway
- E. Productive areas behind with service access
- F. Building balances needs for large-scale accommodation and appropriately scaled visitor environments within a cohesive overall form



4.1 Built Environment - Tourism Development (cont'd)

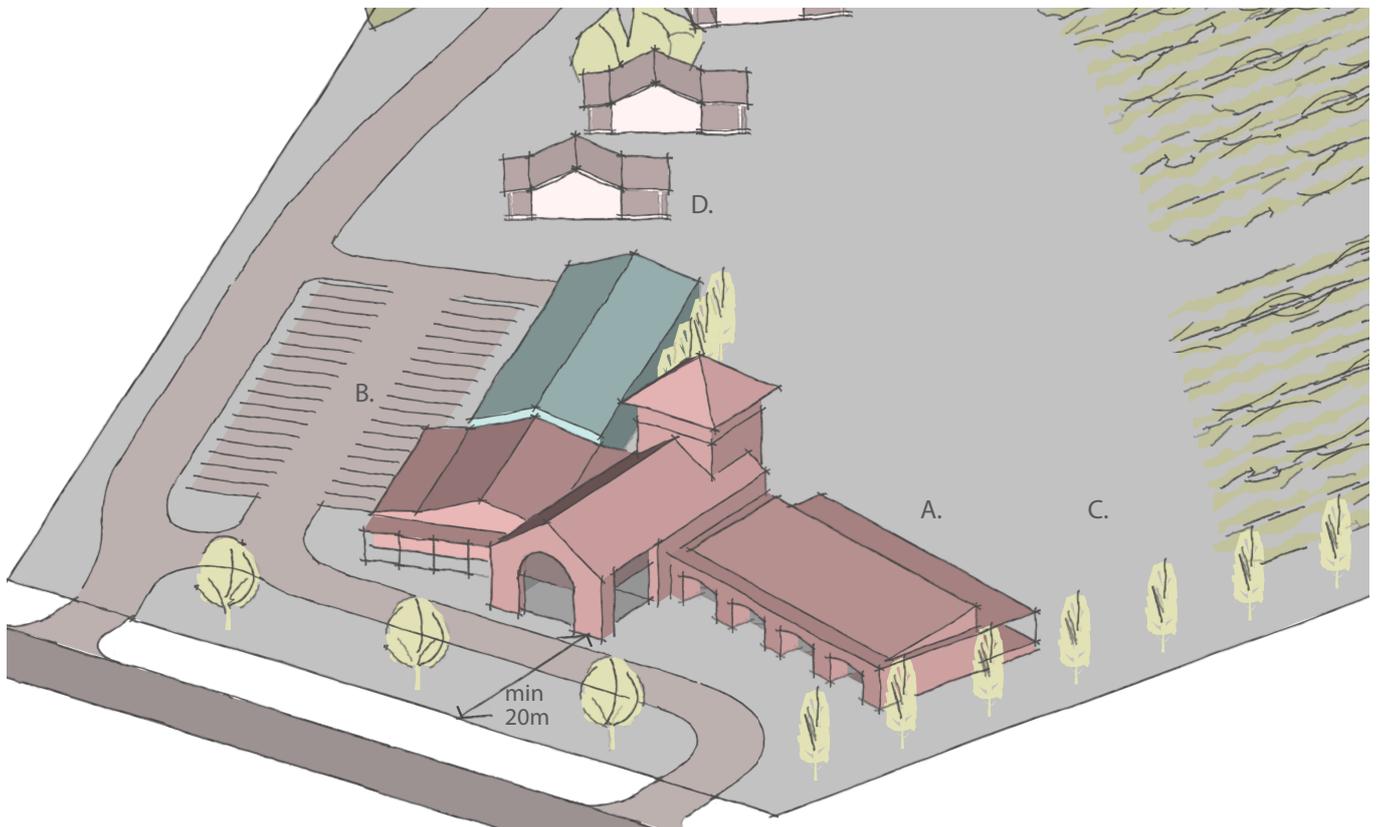
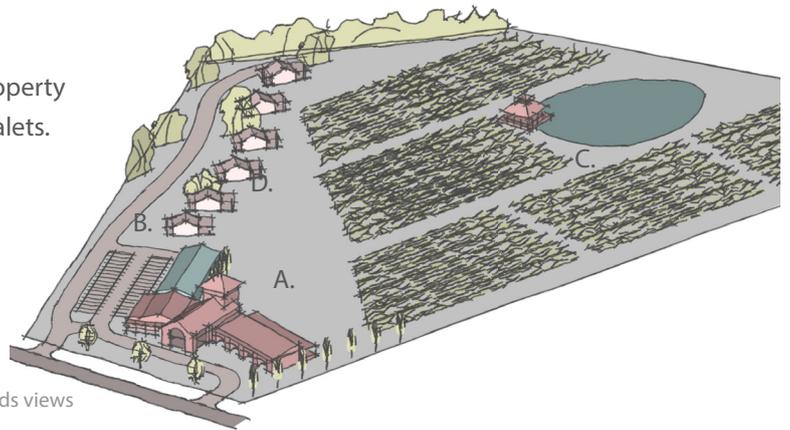
Applied principles - Tourism with accommodation (chalets)

Description

Street front tourism development on a productive property with visitor accommodation as single or attached chalets.

Figure 10: Planning considerations

- A. Main building oriented primarily to views and secondarily to street approach
- B. Driveway and parking discreetly follows treed boundary
- C. Landscaped grounds including event pavilions
- D. Accommodation chalets sited against treeline, oriented towards views



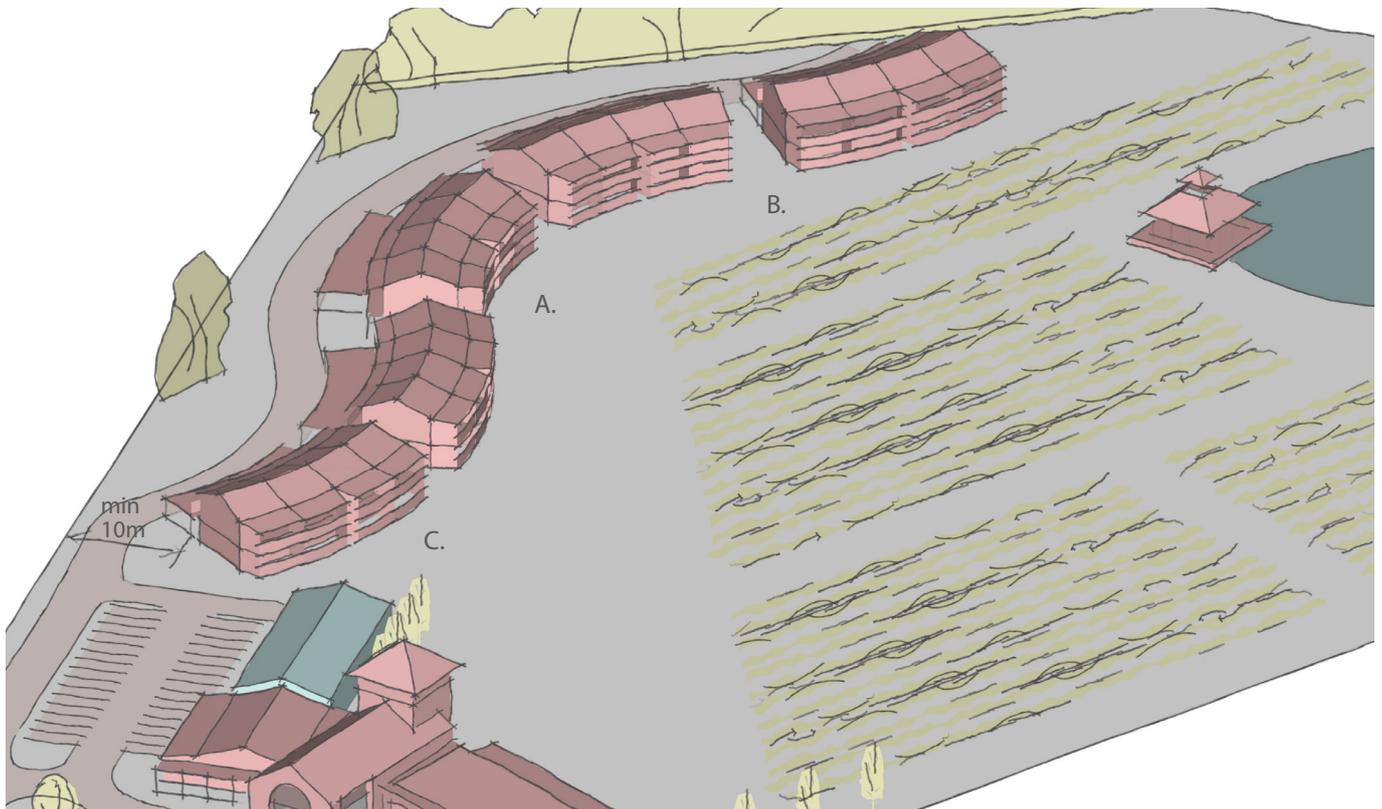
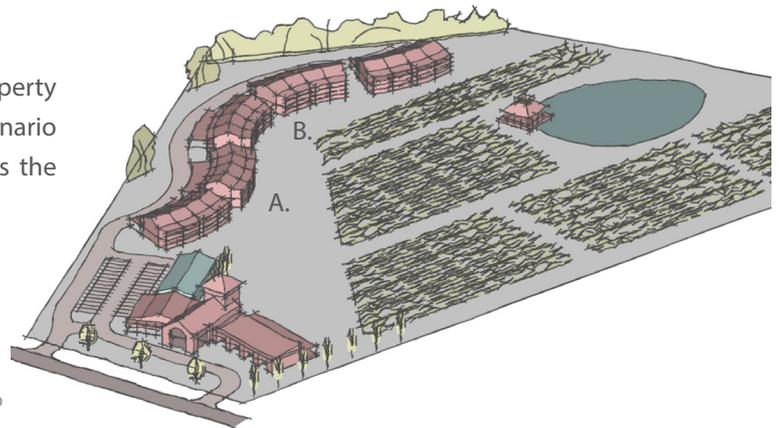
Applied principles - Tourism with accommodation (units)

Description

Street front tourism development on a productive property with visitor accommodation as two-storey units. Scenario illustrates 40 units on a 4-hectare property, which is the recommended maximum ratio.

Figure 11: Planning considerations

- A. Accommodation units sited against treeline, oriented towards scenic views. Units contained in a coherent overall form that is complementary to landscape
- B. Units divided between modules with footprint under 300m²
- C. Good-quality design and construction standards contributes to planning justification of relatively high-density configuration



4.2 Built Environment - Sheds and Agricultural Buildings

Objective

To recognise the necessary role that sheds and outbuildings play in the productive use of rural and agricultural land, and encourage their siting and design to minimise the visual impact on the Swan Valley landscape.

Architectural Character

Guiding Principles

- i. To encourage the development of sheds and agricultural buildings that positively contribute to the rural character of the Swan Valley and do not dominate the landscape.
- ii. To encourage, where appropriate, the use of architectural treatments to mitigate the visual impact and massing of sheds and agricultural buildings.
- iii. Proposals for new structures in prominent locations should demonstrate design quality commensurate with the context value.



Development Checklist

- ✓ Development approval for sheds and agricultural buildings is required where:
 - the combined area of sheds and agricultural buildings on a lot exceeds 200m²;
 - the height of a proposed shed or agricultural building exceeds 5 metres;
 - the proposed shed or agricultural building uses restricted building materials and colours;
 - the proposed shed or agricultural building is located in a flood prone area; and
 - the shed or agricultural building is in the Swan Valley Town Centre Zone.

All other sheds or agricultural buildings require a building licence to be issued by the City of Swan.

- ✓ Proponents must demonstrate how the visual impact of the shed(s) or agricultural building(s) on the lot (in aggregate) is mitigated by:
 - employing traditional stylistic features, such as pitched roofs, lean-to verandahs and gables;
 - adopting contemporary architectural styles that advance a contemporary and sympathetic reinterpretation of the rural vernacular;
 - using colours and materials that are sympathetic to the surrounding environment;
 - using landscaping and screening to moderate building massing.

Built Environment

Building Materials and Colours

Guiding Principles

- i. To employ building material and colour themes that are characteristic of the Swan Valley or complement the rural landscape.
- ii. To use building materials and colours that minimise visual impact on adjacent properties and streetscapes.
- iii. To use building materials and colours that achieve an optimum level of thermal performance.
- iv. To encourage the use of natural building materials and materials with low levels of embodied energy.



Development Checklist

- ✓ A schedule of proposed building materials and colours is to be included in any application to the City of Swan for development approval or building licence.
- ✓ Recommended material themes include:
 - Galvanised iron and zincalume
 - Stonework, brick and tile
 - Timber weatherboards
- ✓ Recommended colour themes include:
 - Federation green
 - Red oxide
 - Cream
- ✓ Bold colours should be used as highlights rather than large expanses.
- ✓ Where reflective materials are used, mitigate impacts by introducing screen planting where a reflective roof is proposed within 20m and $\pm 15^\circ$ northwards of an existing neighbouring building.
- ✓ Appropriate material features and architectural details should be used to mediate the industrial appearance of tilt-up construction, particularly where visually prominent to streetscape, views and/or adjacent properties

4.2 Built Environment - Sheds and Agricultural Buildings (cont'd)

Built Form

Guiding Principles

- i. To design sheds and agricultural buildings that do not dominate the landscape and avoid or moderate the visual impact of oversized massing.
- ii. To avoid or moderate the impact of excessively large single building surfaces.
- iii. To ensure buildings on elevated or prominent sites do not visually dominate the surrounding landscape.



Development Checklist

- Development proposals should moderate the physical mass of sheds or agricultural buildings by employing measures such as:
 - dividing oversized single volumes into clustered smaller volumes;
 - stepping walls to create projecting or recessed volumes;
 - modulating wall height;
 - modifying roof form; and
 - changing colours and materials, such as dado wall treatment.
- Standard sheds or agricultural buildings are to be designed with a maximum wall height of 4.5m with a ridge height of 6m above natural ground level.
- Council may approve larger sheds and agricultural buildings up to a maximum wall height of 6m with a ridge height of 9m above natural ground level, provided the proposal employs design techniques to moderate the bulk and scale of the built form to Council satisfaction.
- To the extent possible, sheds and outbuildings should be clustered on a lot to avoid the appearance of building proliferation within the rural landscape.
- Sea containers are not permitted to be used as sheds or agricultural buildings or for general storage purposes.

Figure 12: Variations of built form to reduce visual impact (floor area constant)

- A. Basic form
- B. Cluster of smaller volumes
- C. Part reduced to smaller volume
- D. Roof design modified
- E. Part change of material and/or colour
- F. Part reduction of roof/wall height

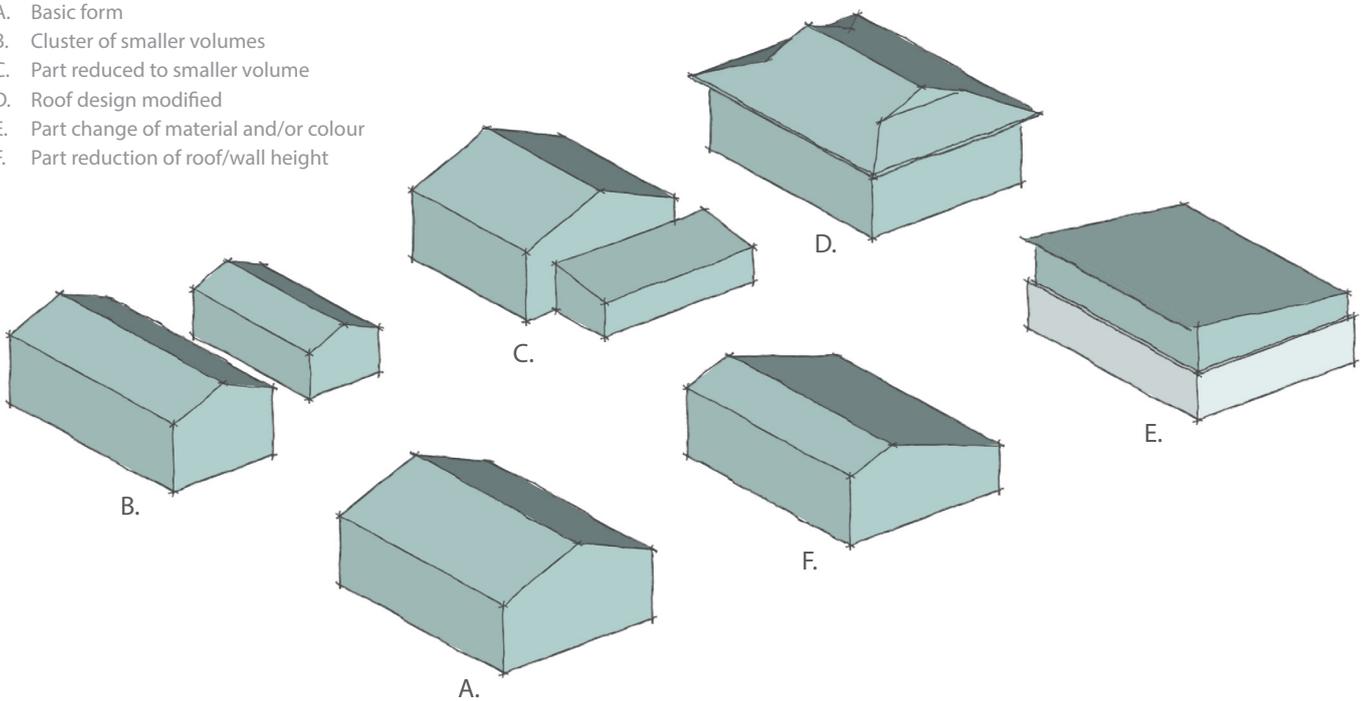
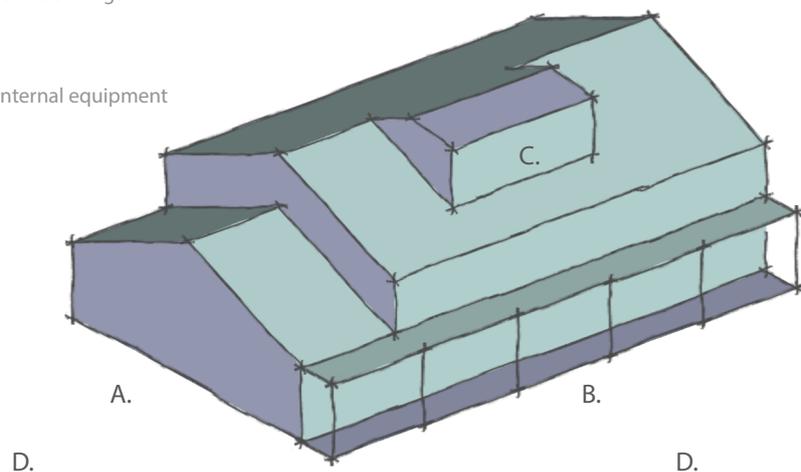


Figure 13: Mitigating height impacts of large agricultural buildings

- A. Single-storey element
- B. Verandah element
- C. Localised additional height where necessary for internal equipment
- D. Street frontage or sensitive view aspect



4.2 Built Environment - Sheds and Agricultural Buildings (cont'd)

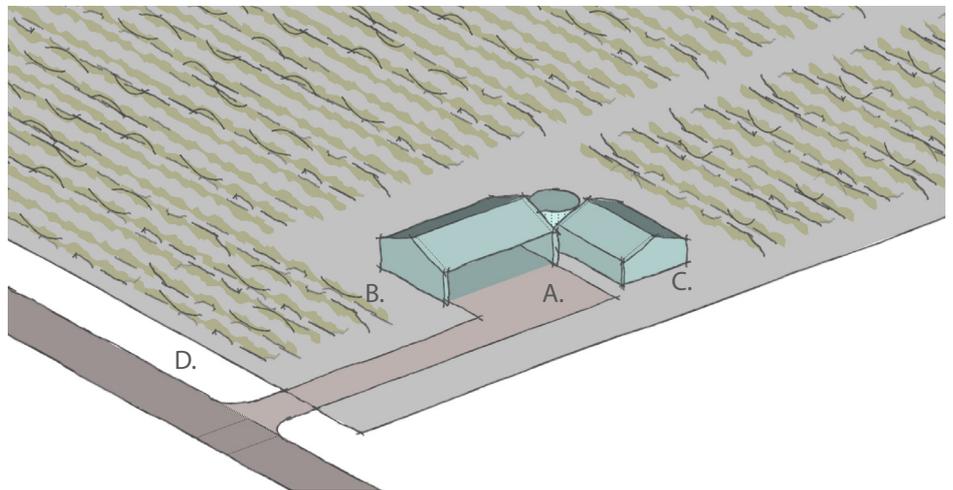
Applied principles - Shed only

Description

Large shed and outbuildings on a productive property.

Figure 14: Planning considerations

- A. Compact clustering of separate buildings
- B. Gable-end oriented to street frontage
- C. 10m minimum side setback
- D. Planting or crops to street frontage mitigate visual impact of shed



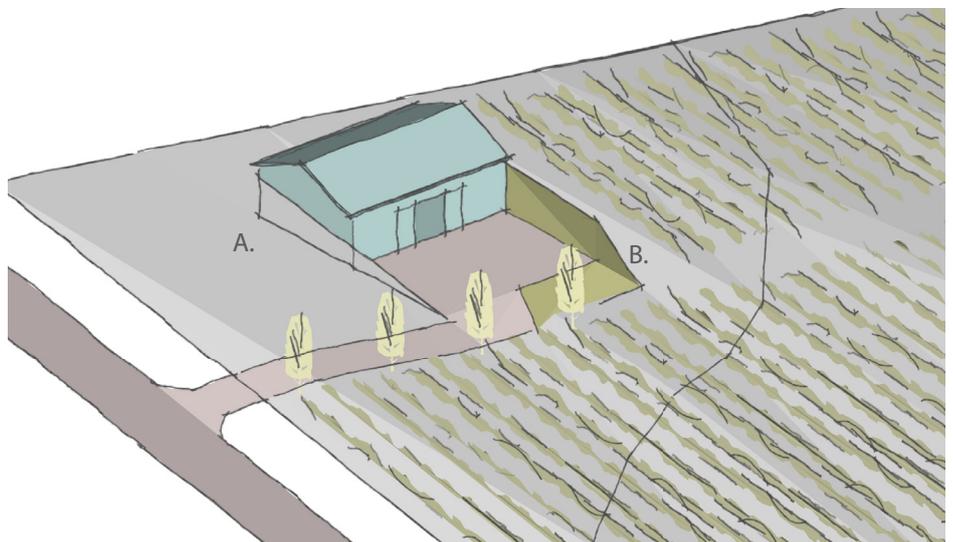
Applied principles - Large shed on sloping site

Description

Large shed using topography to minimise impact on visual landscape

Figure 15: Planning considerations

- A. Excavation and retaining allows visual bulk of the shed to be partly concealed.
- B. Displaced soil is removed or accommodated as fill without negative impact on landscape



Applied principles - Shed with house

Description

House & shed on a productive 4ha property in a street-oriented configuration

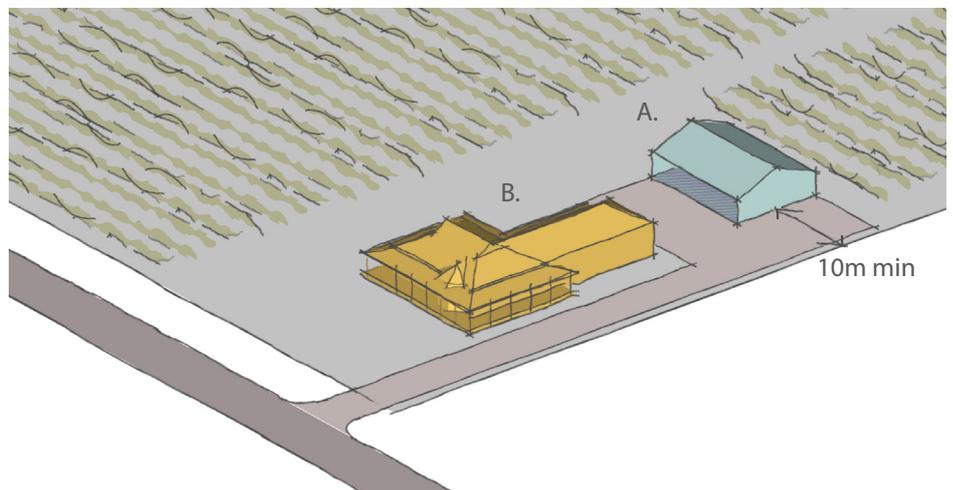


Figure 16: Planning considerations

- A. Shed behind house reduces impact on streetscape
- B. Compact arrangement of buildings with need for separation of domestic and farming functions

Applied principles - Shed with tourism

Description

Productive shed associated with tourism facility in a street-oriented configuration.

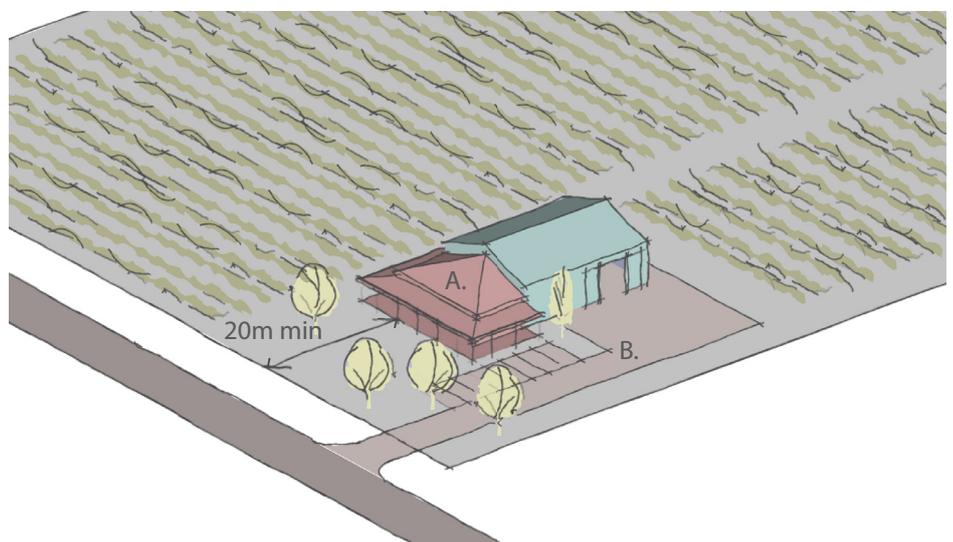


Figure 17: Planning considerations

- A. Visitor element oriented to street
- B. Shared driveway and crossover for visitor and service access where practicable

4.3 Built Environment - Residential

Objective

To encourage the development of a built form vernacular that characterises the Swan Valley based on quality, site responsive design and the application of a palette of natural, traditional and sympathetic contemporary materials.

Architectural Character

Guiding Principles

- i. To encourage the design of houses that employ or reinterpret stylistic elements and proportions of traditional rural dwellings, which may include homestead or cottage building form, or elements such as pitched roof, continuous verandahs and gables.
- ii. To develop an architectural language for housing in the Swan Valley that is rural rather than urban or suburban in character.
- iii. To employ a considered architectural response to site topography, particularly for houses in an elevated or prominent location.

Development Checklist

- All proposals for residential development (including for a 'single house') require a development application to be lodged with the City of Swan.
- All proposed residential development requires a building licence to be issued by the City of Swan.
- Applicants must consider the requirements and design expectations of this section 4.3 when preparing a development application for residential development.



Building Materials and Colours

Guiding Principles

- i. To employ building material and colour themes that are characteristic of the Swan Valley or complement the rural landscape.
- ii. To use building materials and colours that minimise visual impact on adjacent properties and streetscapes.
- iii. To use building materials and colours that achieve an optimum level of thermal performance.
- iv. To encourage the use of natural building materials and materials with low levels of embodied energy.

Development Checklist

-  A schedule of proposed building materials and colours is to be included in any application to the City of Swan for a building licence.
-  Recommended material themes include:
 - Galvanised iron and zincalume
 - Stonework, brick and tile
 - Timber weatherboards
-  Recommended colour themes include:
 - Federation green
 - Red oxide
 - Cream
-  Bold colours should be used as highlights rather than large expanses.
-  Where reflective materials are used, mitigate impacts by introducing screen planting where a reflective roof is proposed within 20m and $\pm 15^\circ$ northwards of an existing neighbouring building.

4.3 Built Environment - Residential (cont'd)

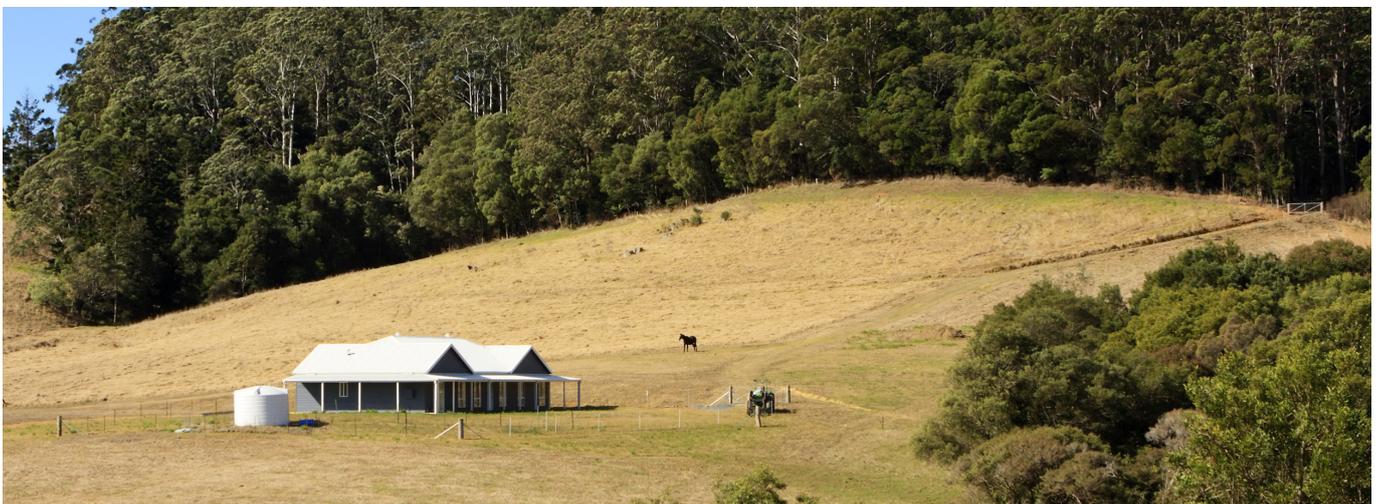
Built Form

Guiding Principles

- i. To design built form that does not dominate the landscape and avoids or moderates the visual impact of oversized massing.
- ii. Height of new residential buildings is to be consistent with the existing built environment in Swan Valley - predominantly single-storey, some two-storey and additional storeys only in rare circumstances.
- iii. Multi-storey houses near the street frontage should minimise visual impact on predominantly single-storey rural streetscapes.
- iv. Residential buildings on elevated or prominent sites should not visually dominate the surrounding landscape.

Development Checklist

- Developments with ground floor GFA exceeding 200sqm are divided into clustered smaller volumes or modified to give the appearance of smaller volumes.
- The maximum height of a residential building up to two stories is 9m above natural ground level.
- For an elevated or prominent site a residential building shall be single-storey, with a maximum building height of 6m above natural ground level.
- For multi-storey houses within 50m of primary street boundary and/or 20m of secondary street, the upper storey is to be further setback than ground floor frontage. Alternatively, awnings or verandah elements may be used to moderate visual impact of multi-storey frontage.



Built Environment

Figure 18: Some common characteristics of traditional rural dwellings

- A. Continuous verandahs
- B. Change in pitch between main roof and verandah
- C. Set-down between main roof and verandah
- D. Gable or Dutch-gable roof
- E. Simple overall form and proportion
- F. Facade and roof modified by bay window
- G. Street frontage or prominent aspect

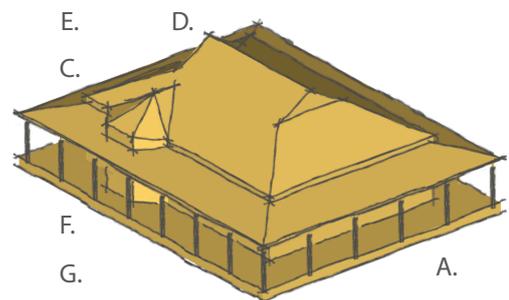
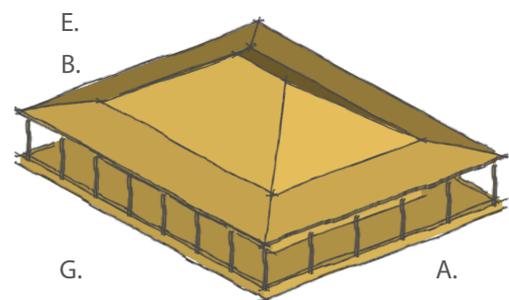
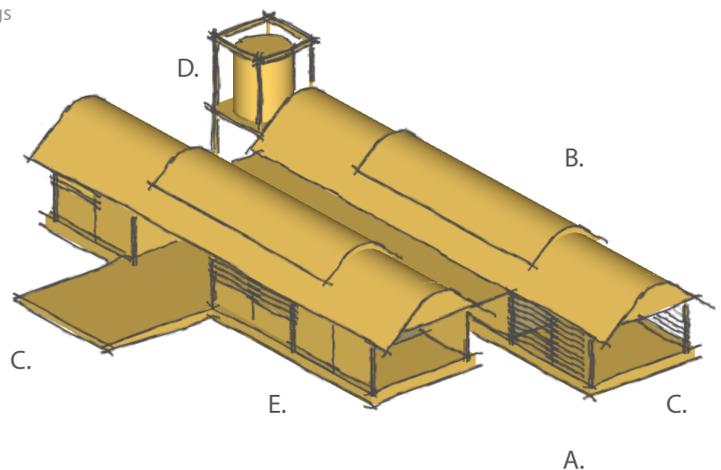


Figure 19: Some common characteristics of contemporary rural dwellings

- A. Orientation relates to views, topography, climate and solar aspect rather than street frontage
- B. Distinctive roof form
- C. Multiple thresholds between inside and outside, with deck, porch, breezeway and pergola spaces
- D. Structural and functional elements expressed as design features
- E. Relatively extensive glazing for views and daylighting



4.3 Built Environment - Residential (cont'd)

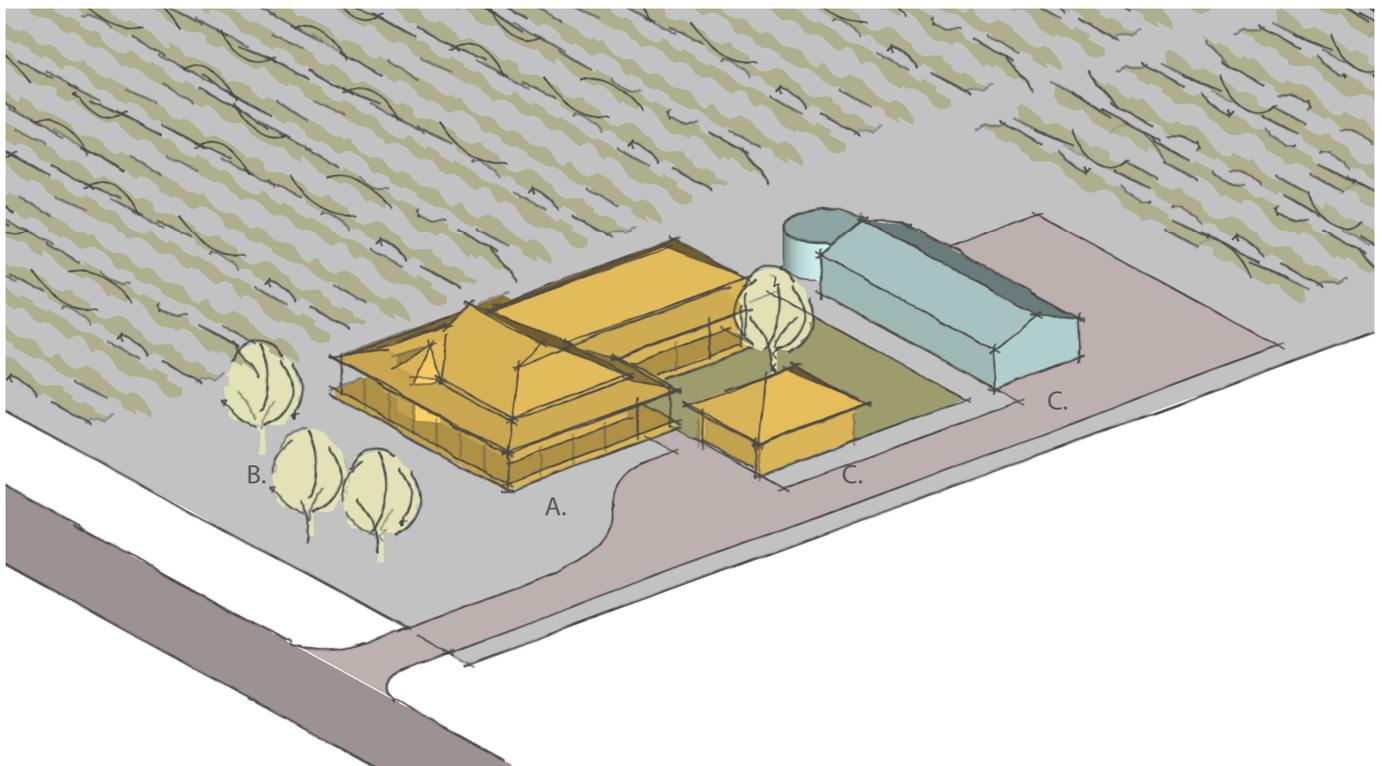
Applied principles - Street-front single house

Description

House and shed on a productive property. Traditional rural dwelling characteristics in a street-oriented configuration.

Figure 20: Planning considerations

- A. House uses form and scale of traditional dwelling towards streetscape, with additional accommodation of more conventional form behind
- B. 20m minimum primary street setback
- C. 10m minimum side boundary setback



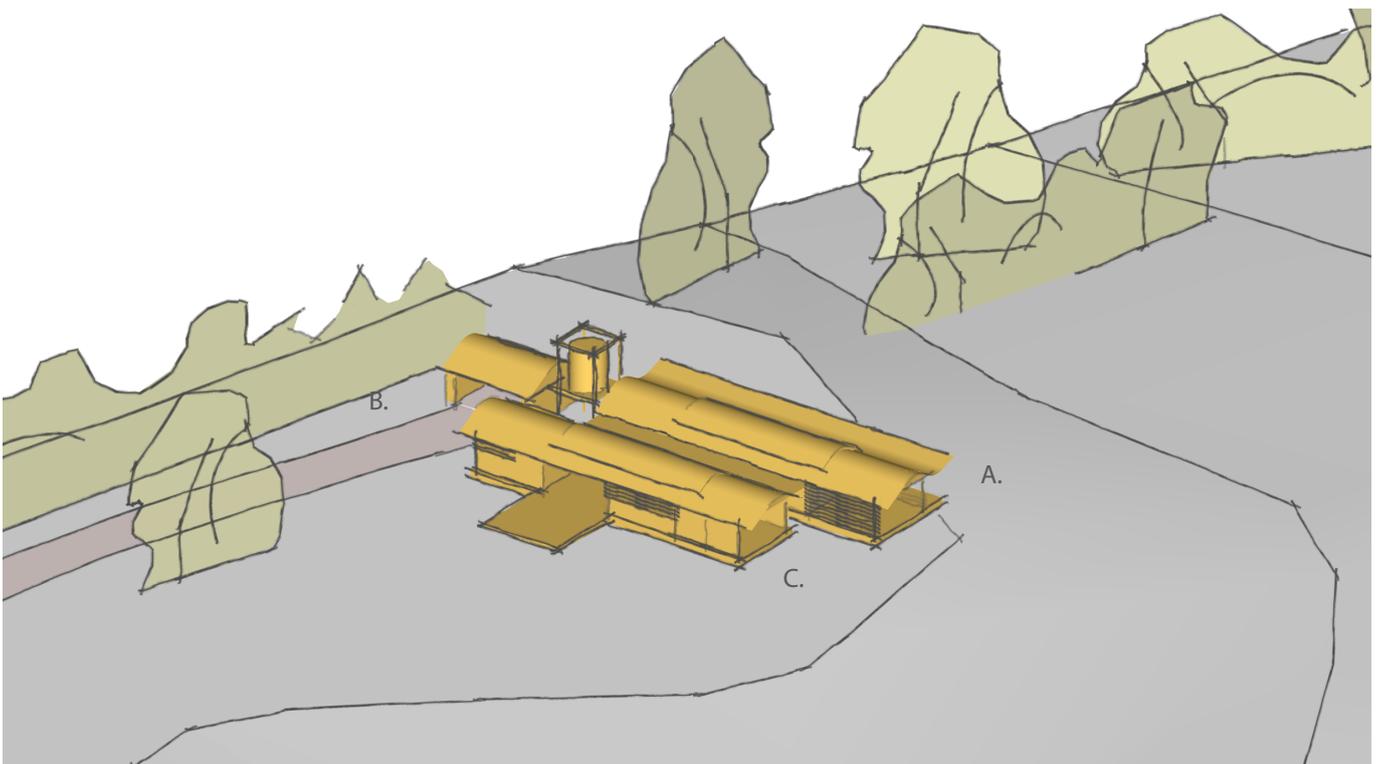
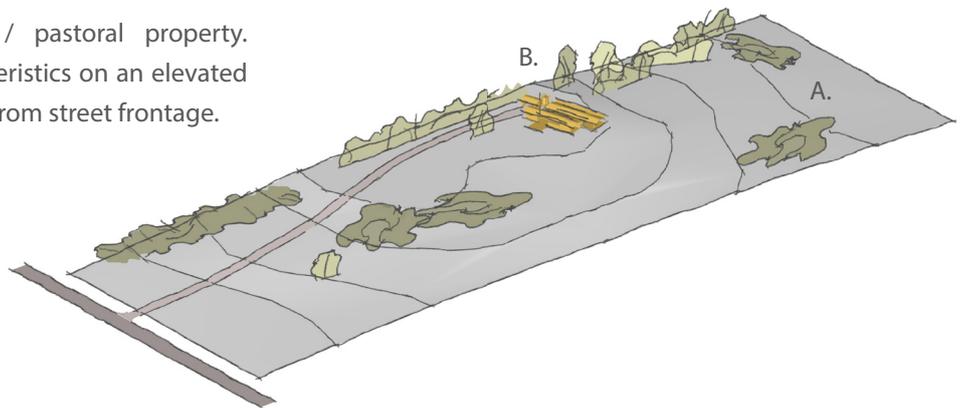
Applied principles - Mid-block single house

Description

House & shed on a bushland / pastoral property. Contemporary architectural characteristics on an elevated and prominent site more than 50m from street frontage.

Figure 21: Planning considerations

- A. House is oriented towards views and solar aspect rather than street frontage
- B. Siting house against treeline moderates impact on visual landscape
- C. Good-quality design and construction standards are encouraged for development on prominent sites



4.3 Built Environment - Residential (cont'd)

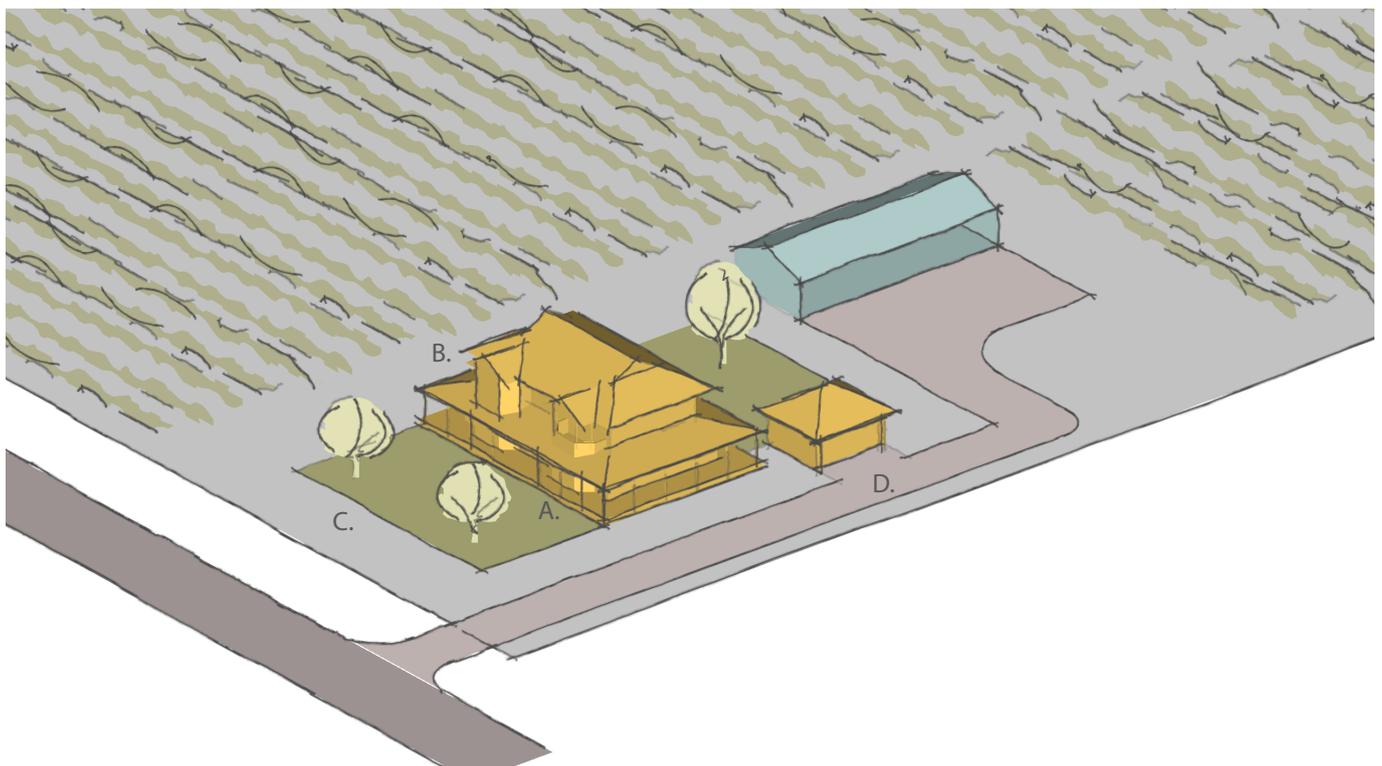
Applied principles - Two-storey dwelling

Description

Two-storey house sited within 50m of street frontage.

Figure 22: Planning considerations

- A. Upper storey setback or substantial verandah element added to relate to single-storey streetscape
- B. Bay-window and balcony elements further moderate two-storey frontage.
- C. 20m minimum primary street setback
- D. 10m minimum side boundary setback



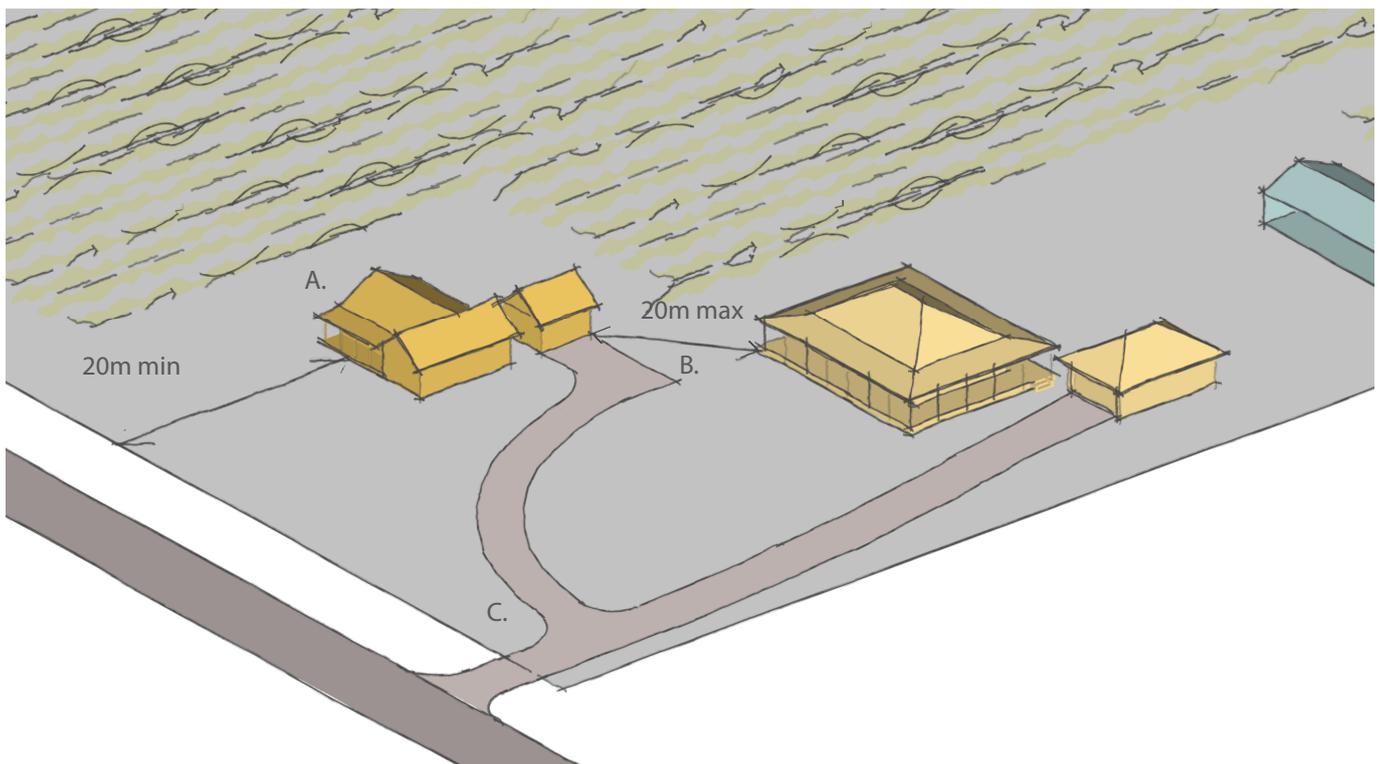
Applied principles - Ancillary dwelling

Description

Second dwelling on a productive property in a street-oriented configuration.

Figure 23: Planning considerations

- A. Ancillary dwelling is up to 100sqm in gross floor area
- B. Ancillary dwelling is sited not further than 20m from primary dwelling
- C. New dwelling shares the crossover of the primary dwelling



4.4 Built Environment - Town Centre

Objective

To establish an identifiable centre for the Swan Valley that performs an authentic role as a rural town servicing the day to day needs of local residents, while providing a focus for visitors and tourists.

Architectural Character

Guiding Principles

- i. To develop an architectural character and built language that identifies Herne Hill as a rural town centre, rather than an extension of the surrounding suburban form or a continuation of the rural farming typology.
- ii. To create a distinct identity that distinguishes Herne Hill from other rural town centres, and allows locals to form an attachment with and take ownership of the place.
- iii. To encourage architectural styles that have a strong relationship with local streets and public spaces, promoting community interaction and providing surveillance, security and comfort for locals.
- iv. To encourage design that responds sympathetically to the traditional architectural vernacular, but explores a contemporary interpretation of rural town living.
- v. To define town centre precincts by a combination of architecture and function.

Development Checklist

- All development proposals must be in accordance with the Herne Hill Local Structure Plan to be prepared by the City of Swan.



Building Materials and Colours

Guiding Principles

- i. To employ building material and colour themes that are characteristic of the Swan Valley or complement the rural landscape.
- ii. To use building materials and colours that minimise visual impact on adjacent properties and streetscapes.
- iii. To use building materials and colours that achieve an optimum level of thermal performance.
- iv. To encourage the use of natural building materials and materials with low levels of embodied energy.

Development Checklist

- A schedule of proposed building materials and colours is to be included in any application to the City of Swan for a development approval or building licence.
- Recommended material themes include:
 - Galvanised iron and zincalume
 - Stonework, brick and tile
 - Timber weatherboards
- Recommended colour themes include:
 - Federation green
 - Red oxide
 - Cream
- Where reflective materials are used, mitigate impacts by introducing screen planting where a reflective roof is proposed within 20m and $\pm 15^\circ$ northwards of an existing neighbouring building.

4.4 Built Environment - Town Centre (cont'd)

Built Form

Guiding Principles

- i. Buildings fronting the main street or other identified public areas should positively address those spaces by providing shelter and comfort for pedestrians, active frontages, a human scale of development, thereby encouraging people to wander, explore and spend time.
- ii. Higher density development should be associated with a range of uses/activities and areas of high amenity within walking distances.
- iii. Service and commercial buildings that rely on high volume or heavy vehicle access should be designed to avoid impact on public and pedestrian spaces, and be located with access to the district and regional road network.
- iv. Housing development should accommodate a range of occupancy types, family structures, age groups and demographics.
- v. Community and public buildings should be civic in scale and design and should demonstrate the application of high quality architecture and materials.

Development Checklist

- All development proposals must be in accordance with the Herne Hill Local Structure Plan to be prepared by the City of Swan.



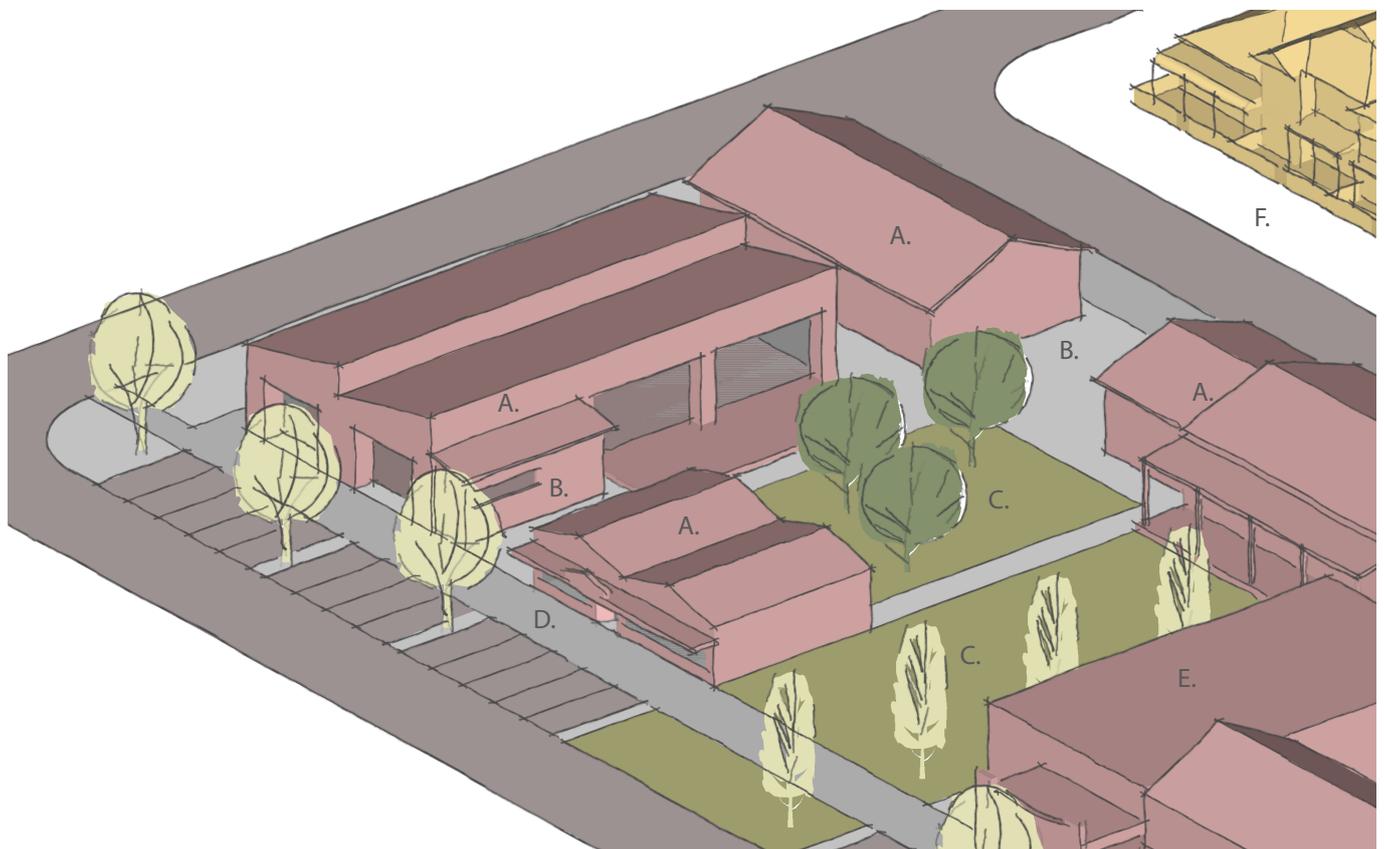
Applied principles - Civic / Community development

Description

Civic and community buildings and public space as an identifiable centre for the Swan Valley. The precinct could include a visitor centre with tourist information for the Swan Valley and accommodate display and sale of craft and produce. The precinct could also serve the local community as a place for organised and casual gatherings.

Figure 24: Planning considerations

- A. Diverse mix of multi-purpose buildings contributing to a strong local identity
- B. Pedestrian connections between buildings and well-considered orientation of entrances to address both streetfront and public spaces
- C. Well-scaled parks providing hard and soft landscapes for a range of uses
- D. High quality paving, planting and awnings to enhance pedestrian environments
- E. Precinct relates to adjacent retail and (F.) residential sites



4.4 Built Environment - Town Centre (cont'd)

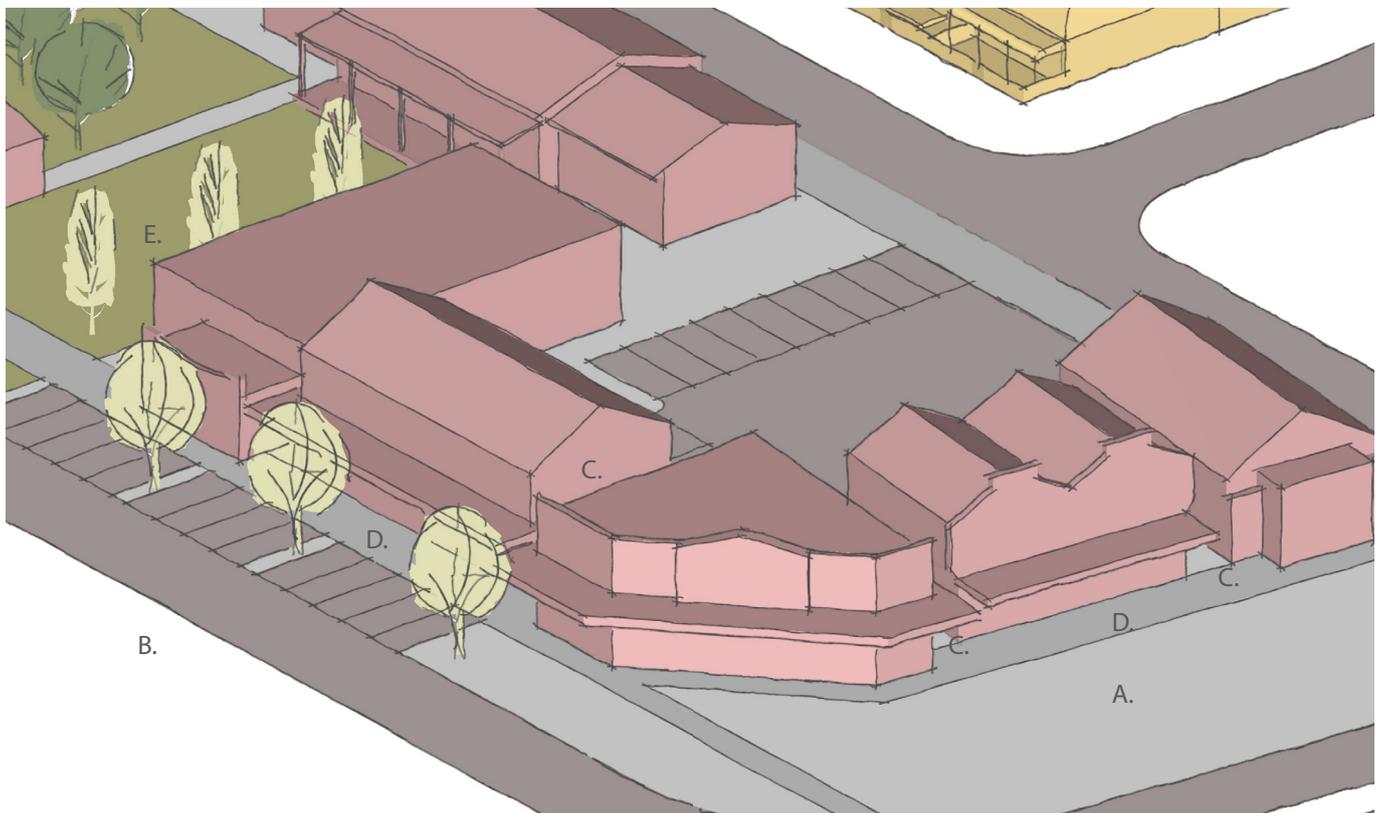
Applied principles - Commercial / retail development

Description

Retail and commercial buildings to provide local and visitor amenity in the Town Centre.

Figure 25: Planning considerations

- A. High-quality single or double storey street frontage to Great Northern Highway and (B.) Macdonald Road
- C. Pedestrian connections between buildings and well-considered orientation of entrances to balance street frontage with parking areas behind
- D. High quality paving, planting and awnings to enhance pedestrian environments
- E. Retail frontage to community / civic precinct



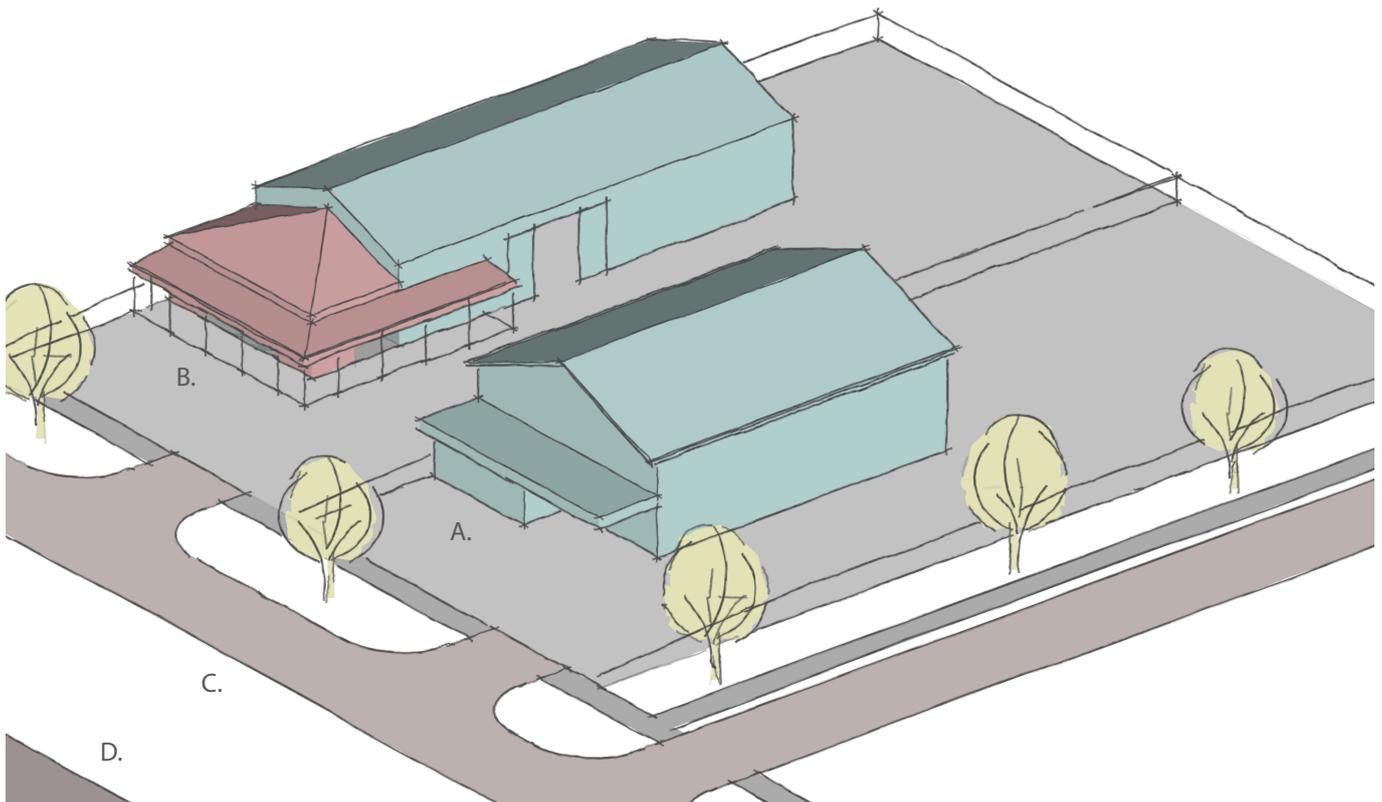
Applied principles - Service industries

Description

Visitor attraction within the intensive tourism zone. Complex incorporating gallery, local produce retail and back-of-house productive area. Street-oriented configuration.

Figure 26: Planning considerations

- A. Buildings present high quality frontage to Great Northern Highway
- B. Public elements should be appropriately scaled and detailed
- C. Secondary access road to minimise crossovers and intersections from highway
- D. Great Northern Highway



4.4 Built Environment - Town Centre (cont'd)

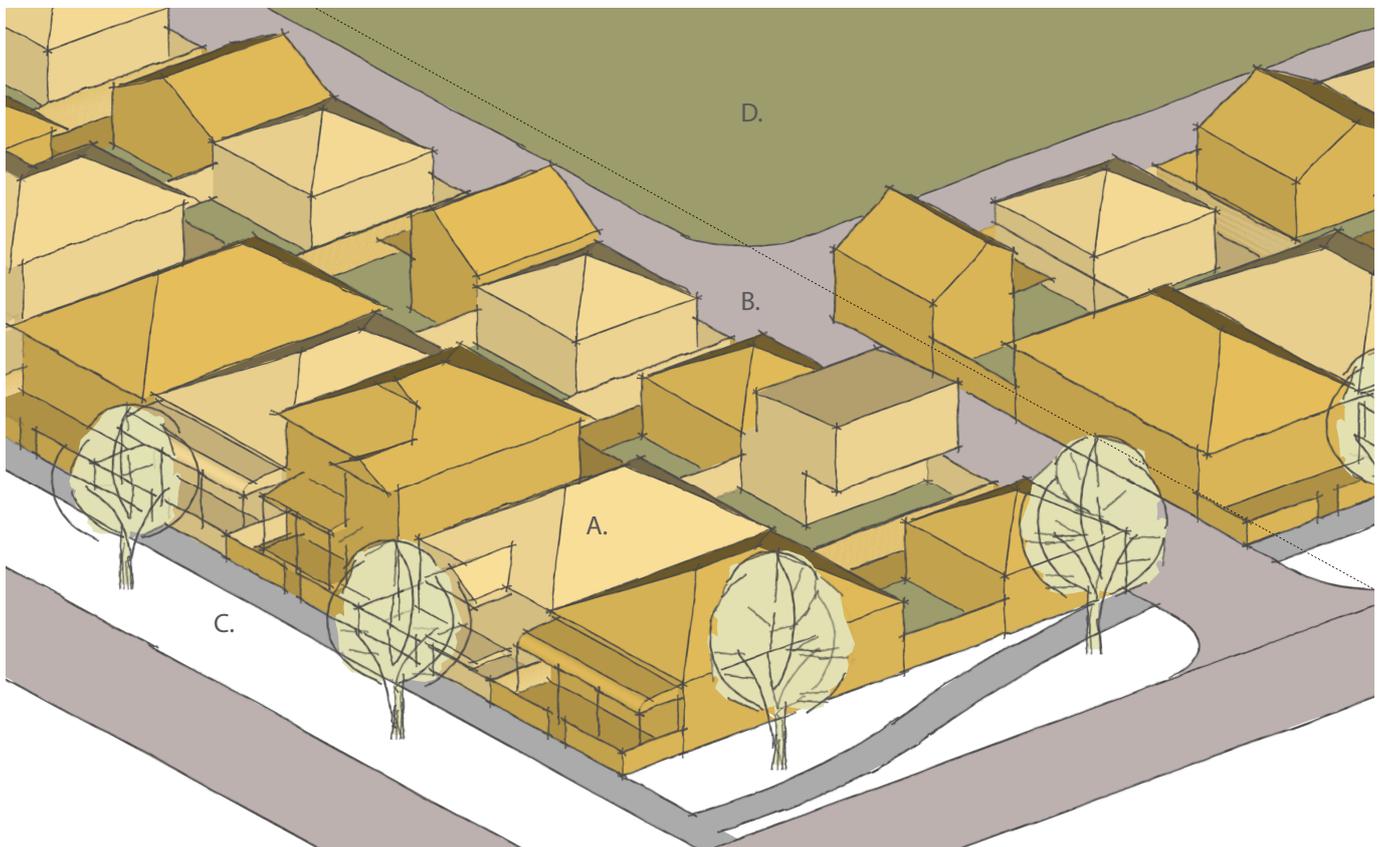
Applied principles - Village Residential

Description

Cluster of smaller residential lots to suit a compact dwelling option for more people to live near the added amenity of the town centre.

Figure 27: Planning considerations

- A. Small-lot format such as 200-300sqm with 8-10m frontages to suit attached or semi-detached dwellings, built individually or as grouped development
- B. Laneway vehicle access
- C. Design guidelines facilitate streetscapes that reinterpret rural context and character at a higher density
- D. Communal open space



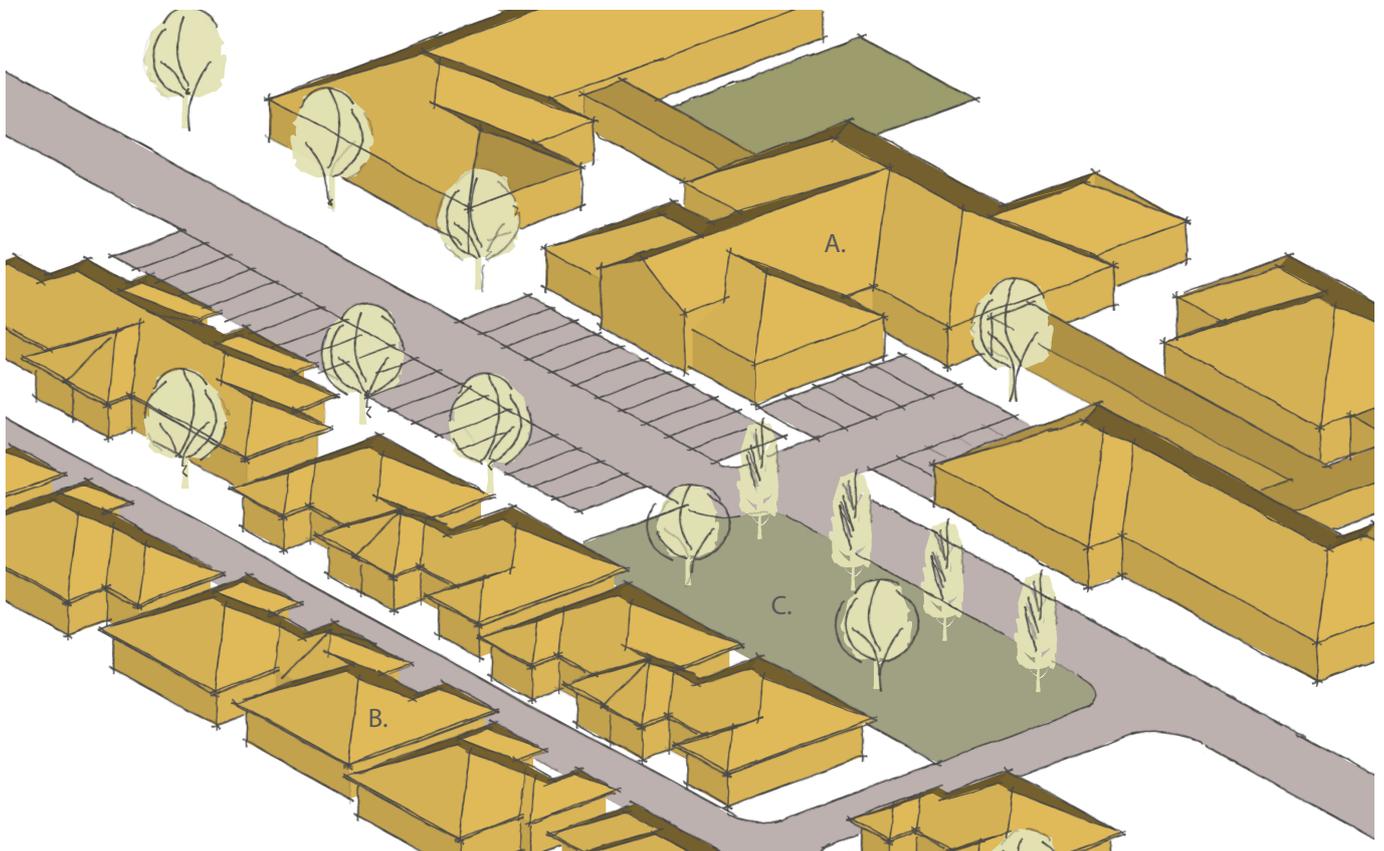
Applied principles - Retirement / aged-care residential

Description

Potential for large development site providing a range of dwelling options for retirees and the aged, integrated into the town centre plan.

Figure 28: Development Type T1 planning considerations

- A. Aged care facility
- B. Independent dwellings of various types
- C. Open space







5.0 General Provisions

Section 5.0 sets out Guiding Principles and Development Checklists for a range of other development and land use categories that have the potential to impact on the rural character of the area and therefore limit the potential to achieve the Swan Valley Vision. These include:

- Siting and setbacks;
- Parking and access;
- Entry statements and fencing;
- Ancillary dwellings;
- Land use buffers;
- Landscaping;
- Signage;
- Livestock management; and
- Resource extraction.

For all other statutory and policy matters relating to development and land use in the Swan Valley, proponents should refer to the City of Swan Local Planning Scheme and associated policies.

5.1 Siting and Setbacks

Guiding Principles

- i. To create a built environment that is rural rather than urban or suburban in character.
- ii. To organise buildings on a lot in such a way that they do not dominate the landscape or adversely impact on the visual amenity of the area.
- iii. To provide sufficient separation between buildings on neighbouring properties to provide privacy, reduce conflict between uses and avoid the appearance of grouped developments.
- iv. To ensure the siting of buildings does not threaten or reduce the productive capability of the land or introduce the potential for land use conflicts.
- v. To ensure that all development is designed and located to minimise risks from natural hazards.
- vi. To avoid the siting of buildings on visually exposed ridgelines, unless the visual impact is minimised by using designs and colours that merge with or complement the landscape.

Development Checklist

<i>Minimum Setbacks</i>					
Zone	Front	Side	Rear	Secondary Street	Primary Regional Road and Other Regional Road
Swan Valley Rural	20m	10m	10m	20m	20m
Swan Valley Rural Residential	20m	10m	10m	20m	20m
Swan Valley Intensive Tourism	10m	5m	10m	10m	10m
Swan Valley Town Centre	4m	2m	1m	2m	10m

Figure 29: Minimum Setback Table

5.2 Parking and Access

General

Guiding Principles

- i. To design and locate parking so that it does not dominate the landscape or diminish the rural character and amenity of the area.
- ii. To use landscaping and materials to mitigate the visual impact and moderate the formality of parking areas.
- iii. To promote flexible parking designs that cater for daily needs but can be expanded to accommodate high volume events.
- iv. To promote shared use of parking facilities, particularly in the Intensive Tourism Zone and Town Centre Zone.
- v. To ensure parking and access facilities are designed to incorporate best practice universal access.
- vi. To consider access and parking for cyclists in facility design.
- vii. To minimise the potential for traffic conflict and visual impact associated with multiple access points.
- viii. To discourage the parking of heavy and commercial vehicles, other than as required for agricultural, viticultural or related purposes in the Swan Valley.



Development Checklist

- ✓ Access and parking facilities are to be designed and constructed to the City of Swan specifications.
- ✓ Any proposed development that generates parking in excess of 20 bays (other than in the Town Centre Zone) must be accompanied by a parking and access plan identifying:
 - a site layout plan showing the location of parking and access in relation to existing and proposed buildings;
 - the location of access driveways to minimise tree removal and avoid excessive site works;
 - landscaping treatments to mitigate the visual impact of proposed parking areas and provide comfort and amenity for patrons;
 - where practicable the use of natural and previous surface materials (stone, gravel) that are sympathetic with the rural character of the area and reduce the volume of stormwater runoff;
 - where practicable the location of shared access and parking arrangements (either within the lot or with adjoining neighbours); and
 - the location of universal access and, if proposed, cyclist facilities.
- ✗ Parking of heavy and commercial vehicles is not permitted unless it can demonstrated that the vehicles are required for agricultural, viticultural or related purposes in the Swan Valley.
- ✗ Transport Depot is not a supported land use in the Swan Valley.

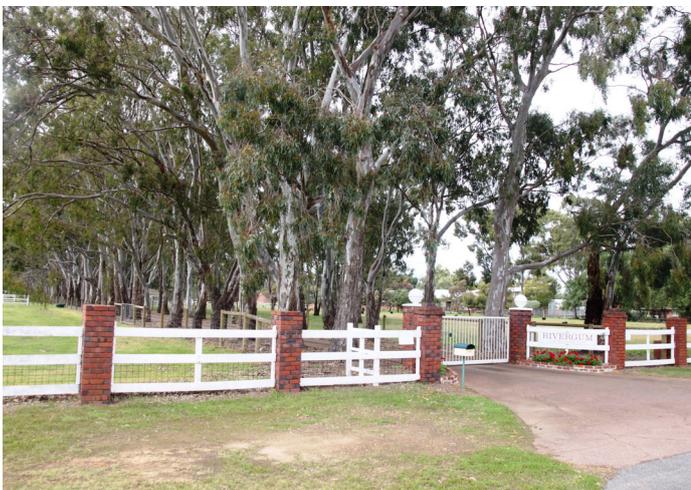
5.3 Entry Statements & Fencing

Guiding Principles

- i. To design fencing and entry statements that are sympathetic to the rural character of the Swan Valley.
- ii. To encourage the use of traditional fencing materials and styles, such as post and wire or post and rail.
- iii. To minimise the visual impact of entry statements through scale and the use of natural materials, such as stone or timber.
- iv. To encourage permeability and discourage fencing styles that obstruct views of the rural landscape.

Development Checklist - Entry Statements

- ✔ Entry statements must not exceed 1.8 metres in height.
- ✔ The vertical face of entry statements must not exceed 6m² in area either side of the driveway crossover, with a maximum combined face area of 12m².
- ✔ A presumption of support will be given to the design and construction of entry statements that use natural materials.



Examples of appropriate entry statements



Development Checklist - Fencing

- ✔ Open form fencing such as post and wire or post and rail fencing is supported in the Swan Valley Rural, Rural Residential and Intensive Tourism zones.
- ✔ The use of solid panel and/or screen fences, except in the immediate vicinity of the dwelling, is not supported in the Swan Valley Rural, Rural Residential and Intensive Tourism zones.
- ✔ Fences along the boundary lines should be permeable and not obscure open views of the landscape.
- ✔ Zincalume, white or colourbond fencing is not supported in the Swan Valley Rural, Rural Residential and Intensive Tourism zones.



Examples of preferred fence treatments

5.4 Ancillary Dwelling

Guiding Principles

- i. To provide for an affordable housing type that accommodates the needs of both large or extended families as well as smaller family units not related to the family occupying the main dwelling without compromising the productive capacity of rural land, landscape character, environmental attributes and amenity of the area;
- ii. To allow greater flexibility in the size of ancillary Accommodation in rural areas whilst ensuring that they remain related to and subordinate to the main dwelling; and
- iii. To ensure the development of a ancillary dwelling does not encourage the future subdivision of land.



Development Checklist

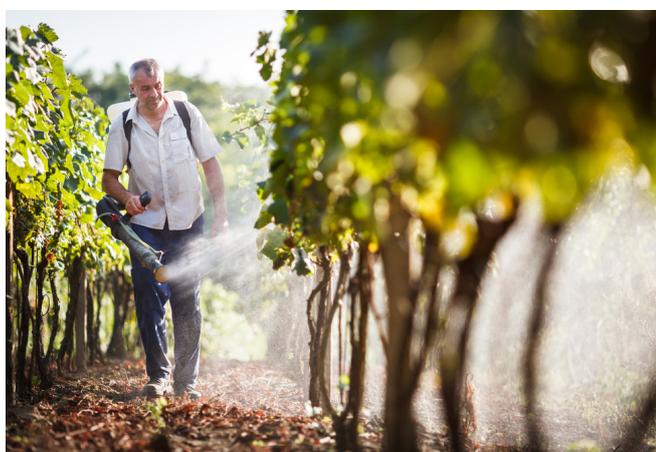
- ✓ Any proposal for an ancillary dwelling will require development approval under the City of Swan Local Planning Scheme.
- ✓ No more than one ancillary dwelling is to be constructed on a lot.
- ✓ In the Swan Valley Rural, Rural Residential and Intensive Tourism zones:
 - Ancillary dwellings must not exceed 100m² in gross floor area.
 - The ancillary dwelling is to be sited to minimise impact on the landscape, environment and streetscape and be located no further than 20 metres from the main dwelling. Isolated or visually prominent locations should be avoided. Consideration should be given for the relationship between the ancillary dwelling and existing buildings, trees and other landscape features.
 - The ancillary dwelling is to share the same driveway access as the main dwelling
 - On additional car parking space is to be provided for the ancillary dwelling, whether in the form of a garage, carport or uncovered space.
- ✓ Ancillary dwellings within the Swan Valley Town Centre zone are to be designed and constructed in accordance with the Herne Hill Local Structure Plan.

5.5 Land Use Buffers

General

Guiding Principles

- i. To provide appropriate separation distances between industrial and sensitive land uses.
- ii. To encourage the application of best management approaches to minimise spray drift.
- iii. To ensure developers are aware of their obligations when proposing sensitive land uses in close proximity to agricultural or industrial land uses.



Development Checklist

- ✓ All proposals for tourism development, visitor accommodation or other developments that include a public visitor component should be prepared in the context of relevant buffer policy and guidelines, including:
 - Western Australian Planning Commission Statement of Planning Policy No. 4.1 - State Industrial Buffer Policy;
 - Department of Health Guidelines for Separation of Agricultural and Residential Land Uses - Establishment of Buffer Areas (August 2012);
 - Environmental Protection Authority Guidance for the Assessment of Environmental Factors - Separation Distances between Industrial and Sensitive Land Uses (June 2005);
- ✓ Vegetated buffers should be introduced where practicable to reduce recommended buffer distances and provide visual screening between industrial and sensitive land uses.
- ✓ Agricultural producers should employ best practice approaches to minimise spray drift, including:
 - Select equipment (applicators and nozzles) that give the correct droplet size range to minimise drift and maximise efficiency;
 - Maintain the correct boom height for the nozzles being used and calibrate the equipment correctly;
 - Spray only in favourable weather conditions; and
 - Discuss spray plans with neighbours and contractors to prevent unnecessary conflict.

5.6 Landscaping

Guiding Principles

- i. To promote landscaping treatments that are sympathetic to the rural and agricultural environment of the Swan Valley.
- ii. To use landscaping to moderate the visual impact of built structures by breaking down the scale, mass and bulk of development.
- iii. To encourage the retention of existing trees and vegetation to enhance landscape character;
- iv. To promote the use of indigenous tree and plant species in new landscapes, and in particular the selection of varieties that are most suited to the local climatic conditions.
- v. To promote landscape design that responds to the site's landform, visual character, and existing landscape features and amenity.
- vi. To promote landscape design that can be sustainably maintained to a high standard for the life of the development.
- vii. Where practicable, to use landscaping treatments that reflect and promote the productive agricultural use of the land, such as the planting of rows of grape vines, fruit trees or other crops.

Development Checklist

- Any proposed development that includes a tourism or public visitor component (either commercial or hospitality) must be accompanied by a landscape plan prepared by a qualified practitioner.
- The landscape plan should address as a minimum:
 - the site boundaries and building envelopes of any existing or proposed buildings;
 - the location of all existing driveways, parking areas and vegetation;
 - the area or areas subject to proposed new landscaping treatments;
 - a survey, including full botanical names, of all existing vegetation on the subject site to be retained and removed;
 - a complete plant schedule of all proposed vegetation including botanical names, common names, height and width at maturity and total quantities of each plant;
 - all proposed hard landscaping elements including construction materials, finishes, structures and finished dimensions;
 - irrigation and maintenance requirements; and
 - a lighting plan if required.
- Landscaped areas identified within an approved landscape plan shall be planted and constructed within 30 days of practical completion of the development, or any relevant part thereof, as determined by the Council or at such later time as may be agreed in writing by the Council.

General



5.7 Signage

Guiding Principles

- i. To provide for a reasonable level of marketing to support tourism and commercial activity without compromising amenity.
- ii. To ensure that the siting, design and general appearance of advertising and signage does not detract from the rural character and amenity of the Swan Valley.
- iii. To promote a consistent and identifiable approach to signage in the Swan Valley.
- iv. To ensure that signs are constructed and maintained to essential standards of public safety.
- v. To ensure that the scale of the sign is appropriate to the size of the building or facade upon which it would be displayed.
- vi. To protect the heritage values of any place included on a heritage list.
- vii. To seek a balance of the functional requirement to inform, warn and promote with the need to avoid the proliferation of signs and maintain a visual amenity that is in character with the surrounding landscape.
- viii. To emphasise that tourist and community service facility signage is directional, rather than promotional.
- ix. To provide for short term community information signage which relates to specific events or activities.

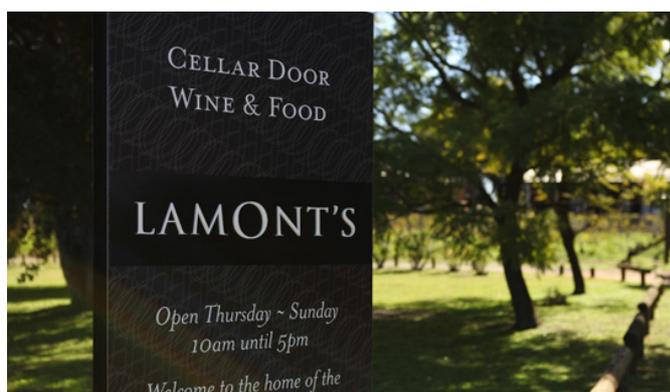
Development Checklist

- Advertising signs shall not be approved on land other than on the land where the business being advertised operates from.
- Signage dimensions must comply with the table as figure 30.
- A maximum of one advertising sign is permitted for each premises or lot boundary.
- Permanent advertising signs shall not be approved for display within any public thoroughfare, including road reserves and intersections.
- Where multiple businesses exist or are proposed within the same premise or lot boundary, or which share the same entrance, only a single multi-tenant sign will be approved.
- Fence signs may be permitted only where other locations for advertising signs are not available.
- Temporary or non-permanent signs are not permitted without council approval.
- Portable and smaller temporary signs may only be licensed for display within a public thoroughfare where they do not present a safety concern and there are significant obstacles preventing effective display on the private land.
- Temporary signs may be displayed to promote new businesses, special events, or promotions for a period no longer than 48 hours. This may be extended subject to Council approval.
- A maximum of one temporary sign is permitted for each business or lot boundary.

Sign Dimensions

Zone	Minimum Display Size	Maximum Display Size	Maximum Height	Primary Regional Road and Other Regional Road
Advertising Sign	0.6m ²	5m ²	3m	No dimension will be less than 1m in size.
Functional Sign	0.6m ²	1m ²	1.5m ²	Must be on private property
Business Sign	0.25m ²	3m ²	1.8m	Must be fixed to a wall or pylon

Figure 30: Sign Dimensions Table



5.8 Livestock Management

Guiding Principles

- i. To recognise that the keeping and raising of livestock contributes to the rural character and amenity of the Swan Valley;
- ii. To ensure a sustainable approach to the keeping and management of livestock in the Swan Valley;
- iii. To encourage the continued interaction between the livestock and tourism industries as a positive visitor experience;
- iv. To encourage the application of best practice management strategies that will reduce the potential impact from the keeping of livestock and associated activities on the local environment, natural resources, native species and surrounding landholders and land uses;



Development Checklist

- ✓ Planning approval may be required for the keeping of hooved and/or large non-domesticated animals or pets. When the City of Swan considers a Keeping of Animals application, it will be generally assessed against the requirements of the Department of Agriculture guidelines for *Stocking Rates for Rural Smallholdings - Swan Coastal Plain and Darling Scarp*.
- ✓ In considering an application for the keeping of animals the City of Swan shall have particular regard for appropriately demonstrated land management arrangements inclusive of:

 - the land capability of the property including an assessment of the management techniques proposed by the applicant;
 - the amount and condition of remnant vegetation on the property;
 - implications for water catchment areas and watercourses;
 - implications on neighbouring properties.
- ✓ Where the Council is of the opinion that the keeping of livestock may be detrimental to the amenity of an area, or is causing environmental degradation of the land including but not limited to soil erosion, dust pollution or damage to trees and other vegetation, the City of Swan may impose conditions relating to:

 - reticulation of paddock areas to maintain pasture growth and prevent soil erosion and dust pollution;
 - establishment and/or maintenance of pasture varieties suitable for the proposed animals;
 - the stabling and yarding of animals;
 - the collection and disposal of animal manures to prevent water pollution and insect breeding;
 - measures for the prevention of the degradation of watercourses;
 - the maximum number of animals permitted;
 - the prevention of detrimental impacts on the amenity of nearby properties;
 - the protection of existing remnant vegetation on the property.

5.9 Resource Extraction

Guiding Principles

- i. To protect priority resource locations, key extraction areas and extraction areas from being developed for incompatible land uses which could limit future exploitation;
- ii. To ensure that the use and development of land for the extraction of basic raw materials does not adversely affect the environment or amenity in the locality of the operation during or after extraction;
- iii. To provide a consistent planning approval process for extractive industry proposals including the early consideration of sequential land uses.



Development Checklist

- Applications for resource extraction will be assessed against *State Planning Policy 2.4 - Basic Raw Materials*.
- When assessing a resource extraction proposal the Western Australian Planning Commission and/or City of Swan will consider:
 - the significance of the resource in terms of its positioning in a priority resource location, key extraction area, or extraction area;
 - the effect of the proposed extractive industry on any native flora and fauna, the natural landscape, groundwater quality, quantity and use, surface drainage and surface water quality, and sites of cultural and historic significance on and near the land;
 - the effect of the proposed extractive industry on agricultural land;
 - the effect of vehicular traffic, noise, blasting, dust and vibration on the amenity of the surrounding area having regard to existing and future uses;
 - the ability to rehabilitate the land to a form or for a use which is compatible with the long-term planning for the site and surrounding area;
 - the availability and suitability of road access;
 - the ability to stage the extraction operations to avoid conflicts with adjacent land uses.

-  Before determining an application for a sensitive land use, such as residential, rural-residential or a land use with a substantial residential or rural-residential component within 1,000 metres of a basic raw materials extraction area, the Western Australian Planning Commission and/or the City of Swan will consider the following as appropriate:

 - the significance of the resource in terms of whether it is a key extraction area, priority resource area or extraction area;
 - the likely effects of vehicular traffic, noise, blasting, dust and vibration arising from the extractive industry on the proposed use or development.
-  There should be a presumption against the introduction of sensitive land uses which could be adversely affected by existing or potential future extractive industries unless appropriate measures can be taken to ameliorate the adverse impacts.
-  Applications for extractive industry operations are to be accompanied by a management plan and report which:

 - demonstrates that sensitive land uses within 1,000m of the proposal will not be adversely affected by the extractive industry operations;
 - identifies appropriate buffer distances, these being distances required for extraction that are needed to buffer the impact of operations to adjacent land uses.
 - provides details of the proposed use, development and management of the site including the environmental and water resource management standards, quarry areas, stock piles, machinery maintenance areas, processing plants, fuel storage and on-site access roads, parking for cars and other vehicles used on the site, and proposals for landscaping to screen activity on the site;
 - describes arrangements for access to the site, including the roads which it proposes will provide the main vehicular access and likely traffic flows; and
 - sets out proposals for the progressive and ultimate rehabilitation of the site for its intended long-term use. In some cases, depending on the nature of the resource and the location, further information may be required.

PART C APPENDICES

Appendix 1: Swan Valley Land Use Zones

Swan Valley Rural Zone

The purpose of the Swan Valley Rural zone is to:

- a) To identify and protect 'high quality agricultural land' land whilst allowing other ancillary uses which do not detract from the primary use of the land for agricultural purposes;
- b) To exclude subdivision and development proposals that have the potential to impact agricultural resources.

The objectives of the Swan Valley Rural zone are to:

- a) To recognise the occurrence of 'priority agricultural soils' and to protect this resource from development which would jeopardise their current and future use;
- b) To preserve the established rural character and amenity of the area and to promote the area primarily as an agricultural, horticultural and landscape resource;
- c) To oppose subdivision proposals which would adversely affect the utility of existing agricultural land for productive purposes through specific subdivision criteria, including the identification of appropriate lot sizes;
- d) To manage land use changes so that the rural productivity and the rural character and amenity of land within the zone is preserved;
- e) To maintain and enhance the environmental qualities of the landscape and attractive rural scenery of land within the zone, and to promote sustainable environmental management practices; and
- f) To allow for the provision of sustainable low-impact tourist development (such as chalet development) but only where an established and continued agricultural, horticultural, viticultural or other similar rural production can be protected on the land holding and where such uses will be incidental and complementary to that established use.

Swan Valley Rural Residential Zone

The purpose of the Swan Valley Rural Residential zone is to recognise established rural-residential lifestyle development within the Swan Valley, and to delineate the area where this type of development and subdivision is permitted.

The objectives of the Swan Valley Rural-Residential zone are to:

- a) provide for low density residential development and associated rural-residential subdivision;
- b) recognise the environmental characteristics of the landscape, including landform, water resources, remnant vegetation, and native fauna, and to ensure as far as practicable, that these characteristics are not compromised by development and use of the land;
- c) To provide opportunities for a range of limited rural and related ancillary pursuits on rural-residential lots where those activities will be consistent with the amenity of the locality and the conservation and landscape attributes of the land.

Land Use Zones

Swan Valley Town Centre Zone

The purpose of the Swan Valley Town Centre zone is to provide for the limited expansion and consolidation of small-scale community, retail and tourist facilities to serve the immediate needs of the local population and visitors to the Swan Valley.

Objectives of the Swan Valley Town Centre zone :

- a) To make provision for a range of retail, service commercial and tourist facilities whilst excluding activities which may adversely impact upon the residential amenity of the area, generate large traffic volumes, or detract from the predominance of the surrounding retail centre hierarchy;
- b) To ensure that the scale and design of development promotes village character and atmosphere;
- c) To guide and control development to achieve optimum levels of safety and accessibility in terms of both vehicle and pedestrian movement;
- d) To ensure that the design of development (including the provision of public open space), enhances the character and streetscape of the Herne Hill town centre; and
- e) To ensure that the village centre, land uses and developments are complemented by landscaping and other features which enhance the appearance of the centre and provide a sense of identity.

Swan Valley Intensive Tourism Zone

The purpose of the Swan Valley Intensive Tourism zone is to provide for the limited expansion and consolidation of tourist uses, including tourist accommodation, attractions and associated uses, along new and established tourist routes .

Objectives of the Swan Valley Intensive Tourism zone :

- a) To make provision for the development of a range of short-stay tourist accommodation and attractions;
- b) To control the location, form, character and density of any development or land use so as to prevent conflict with surrounding land uses, and to complement the natural and built features of development within the Swan Valley project area; and
- c) To provide for the development and retention of land suitable for tourist development.

Appendix 2: Zoning Table

The Zoning Table identifies the use classes permitted in the various zones identified in the Development Plan. The permissibility of any use class is determined by cross reference between the list of use classes on the left hand side of the Zoning Table and the list of zones at the top of the Zoning Table.

The symbols used in Zoning Table have the following meanings:

- 'P' means that the use is permitted by the Scheme providing the use complies with the relevant development standards and requirements of the Scheme.
- 'D' means that the use is not permitted unless the local government has exercised its discretion by granting planning approval.
- 'A' means that the use is not permitted unless the local government has exercised its discretion by granting planning approval after giving special notice in accordance with clause 9.4 of the Local Planning Scheme.
- 'X' means a use that is not permitted by the Scheme.

Zoning Table

Use classes	Swan Valley Rural Residential	Swan Valley Rural	Swan Valley Town Centre	Swan Valley Intensive Tourism
Aged or Dependent Persons Dwelling	X	X	D	X
Agriculture - Extensive	P	P	X	X
Agriculture - Intensive	D	P	X	X
Agroforestry	D	P	X	X
Amusement Parlour	X	X	X	X
Ancillary Accommodation	P	P	P	P
Animal Establishment	X	D	X	X
Animal Husbandry - Intensive	X	X	X	X
Bed and Breakfast	P	P	P	P
Betting Agency	X	X	D	X
Cabin or Chalet	D	D	X	D
Camping Area	D	D	X	X
Car Park	X	X	D	X
Caravan Park	X	A	X	X
Caretaker's Dwelling	X	D	D	D
Child Care Premises	X	X	D	X
Cinema/Theatre	X	X	A	A
Civic Use	X	X	A	X
Club Premises	A	A	D	X
Community Purpose	D	D	D	X
Consulting Rooms	D	X	D	X
Convenience Store	X	X	D	X
Corrective Institution	X	X	X	X
Eco-tourist Facility	X	D	X	D
Educational Establishment	X	X	A	X
Equestrian Facility	A	D	X	X
Exhibition Centre	A	D	D	D
Family Day Care	P	P	P	X
Fast Food Outlet	X	X	A	A

Appendix 2: Zoning Table (cont'd)

Use classes	Swan Valley Rural Residential	Swan Valley Rural	Swan Valley Town Centre	Swan Valley Intensive Tourism
Food and Beverage Production	A	D	D	D
Fuel Depot	X	X	X	X
Funeral	X	X	A	X
Garden Centre	D	D	D	X
Grouped Dwelling	X	X	D	X
Holiday Home	D	D	D	D
Home Business	D	D	D	D
Home Occupation	P	P	P	P
Home Office	P	P	P	P
Home Store	X	D	X	D
Hospital	X	X	X	X
Hotel	X	A	D	D
Industry - Cottage	P	P	P	P
Industry - Extractive	A	A	X	X
Industry - General	X	X	X	X
Industry - Light	X	X	D	X
Industry - Mining	A	A	X	X
Industry - Noxious	X	X	X	X
Industry - Rural	X	D	X	X
Industry - Service	X	X	D	X
Lunch Bar	X	X	P	X
Marine Filling Station	X	X	X	X
Market	X	A	P	D
Medical Centre	X	X	D	X
Motel	X	A	D	A
Motor Vehicle Repair	X	X	D	X
Motor Vehicle Wash	X	X	D	X
Motor Vehicle, Boat or Caravan Sales	X	X	A	X
Multiple Dwelling	X	X	D	X

Zoning Table

Use classes	Swan Valley Rural Residential	Swan Valley Rural	Swan Valley Town Centre	Swan Valley Intensive Tourism
Night Club	X	X	X	X
Office	X	D	P	D
Place of Assembly	X	A	A	X
Place of Worship	X	X	D	X
Radio and TV Installation Private	D	D	D	D
Reception Centre	X	A	A	A
Recreation - Private	X	X	D	D
Recreation - Public	D	D	D	D
Residential Building	X	X	D	X
Restaurant	A	D	P	P
Restricted Premises	X	X	A	X
Roadhouse	X	A	A	A
Rural Pursuit	P	P	X	P
Service Station	X	X	D	X
Shop	X	X	P	P
Short Stay Accommodation	D	D	D	D
Showroom	X	X	P	X
Single Bedroom Dwelling	P	P	P	P
Single House	P	P	P	X
Storage	X	X	X	X
Tavern	X	A	A	A
Telecommunications Infrastructure	D	D	A	D
Tourist Resort	X	A	X	A
Trade Display	X	X	D	X
Transport Depot	X	X	X	X
Vehicle Wrecking	X	X	X	X
Veterinary Clinic	A	A	D	X
Warehouse	X	X	X	X
Winery	A	D	X	D

Appendix 3: Subdivision

The Subdivision Table sets out the minimum lot sizes for the various zones identified in the Development Plan.

The City of Swan is to ensure that any aspects of Local Planning Scheme No.17 (and any associated local planning policies) that relate to the subdivision of land within the Swan Valley Planning Act Area, are consistent with section 2.6 of the Development Plan and minimum lot sizes identified in the Subdivision Table.

In determining subdivision applications the Western Australian Planning Commission (WAPC) will seek to ensure that the broad objectives set out in section 2.6 of the Development Plan are met and minimum lot sizes identified in the Subdivision Table are adhered to. The WAPC may impose conditions on any subdivision approval to secure these objectives.

Subdivision Table

	Swan Valley Rural Residential	Swan Valley Rural	Swan Valley Town Centre	Swan Valley Intensive Tourism
Minimum Lot Size	2 Hectares	4 Hectares	As per an approved local structure plan	4 Hectares

Appendix 4: Residential Development

The Development Plan requires that all new residential development must obtain Planning Approval (via lodgement of a development application with the City of Swan), prior to obtaining a Building Licence.

This applies to residential development within the Swan Valley Development Plan area; including:

- Aged or dependent persons dwellings;
- Grouped dwelling;
- Multiple dwelling;
- Residential building;
- Single bedroom dwelling; and
- Single houses.

The City of Swan is to ensure that the Local Planning Scheme (and any relevant local planning policies) are amended to:

- require the submission of a development application for the types of residential development set out above, including single houses; and
- be consistent with section 4.3 of the Development Plan.

Definition of a 'Single House'

For the purposes of the Development Plan, 'Single House' has the same meaning as defined under State Planning Policy 3.1 Residential Design Codes of Western Australia:

A dwelling standing wholly on its own green title or survey strata lot, together with any easement over adjoining land for support of a wall or for access or services and excludes dwellings on titles with areas held in common property.

Why is a development application required for a 'Single House'?

A development application is required so that the City of Swan can assess proposals for a 'single house' against the 'Objectives', 'Guiding principles' and 'Development checklists' included in Section 4.3 of the Development Plan.

When assessing a development application the City of Swan will seek to ensure that the proposed development complies with the relevant provisions of the Development Plan, Local Planning Scheme, and other relevant legislation.

The City of Swan may impose conditions as a part of any development approval granted within the Swan Valley Development Plan area.

What supporting information should be provided?

Proponents should refer to the City of Swan Local Planning Scheme No. 17 (Part 9.2) to determine what information should be submitted to support the development application.

A schedule of proposed building materials and colours will be required.

Residential Development

Appendix 5: Tourism Development

The Development Plan requires that all new tourism development must obtain Planning Approval (via lodgement of a development application with the City of Swan), prior to obtaining a Building Licence.

This applies to all tourism development within the Swan Valley Development Plan area, including:

- Cabin or Chalet;
- Caravan Park;
- Eco-tourist facility;
- Holiday Home;
- Hotel;
- Motel;
- Reception Centre;
- Recreation - Private;
- Recreation - Public;
- Restaurant;
- Short Stay Accommodation;
- Serviced Apartment;
- Tourist Resort;
- Winery.

The City of Swan is to ensure that the Local Planning Scheme (and any relevant local planning policies) are amended to:

- Include definitions for a range of new uses set out in the section below;
- require the submission of a development application for the types of development set out above, including single houses; and
- be consistent with section 4.1 of the Development Plan.

New Use Class Definitions

The current City of Swan Local Planning Scheme contains a limited number of tourism-related use classes. The introduction of additional use classes within the Development Plan provides additional flexibility to land owners who wish to establish tourism related uses on their property. The additional use classes and definitions are set out below:

Eco-tourist Facility - means a form of tourist accommodation that is designed, constructed, operated and of a scale so as not to destroy the natural resources and qualities that attract tourists to the location. The development should utilise sustainable power, have a low energy demand through incorporation of passive solar design, provide for low water consumption, ecologically sensitive waste processing and disposal with no pollutant product.

Holiday Home - means a single house (excluding ancillary accommodation), which may also be used for short stay accommodation for no more than six people (but does not include a bed and breakfast, chalet and short stay accommodation unit).

Short Stay Accommodation - means a building, or group of buildings forming a complex, designed for the accommodation of short-stay guests and which provides on-site facilities for the convenience of guests and for management of the development, where occupation by any person is limited to a maximum of three months in any 12-month period.

Tourist Resort - means integrated, purpose-built luxury or experiential premises for short-stay guests comprising accommodation units and onsite tourism facilities such as reception, restaurant and leisure facilities like swimming pool, gymnasium, tennis courts, and where occupation by any person is limited to a maximum of three months in any 12-month period.

Why is a development application required?

A development application is required so that the City of Swan can assess proposals for 'tourism development' against the 'Objectives', 'Guiding principles' and 'Development checklists' included in Section 4.1 of the Development Plan.

When assessing a development application the City of Swan will seek to ensure that the proposed development complies with the relevant provisions of the Development Plan, Local Planning Scheme, and other relevant legislation.

The City of Swan may impose conditions as a part of any development approval granted within the Swan Valley Development Plan area.

What supporting information should be provided?

Proponents should refer to the City of Swan Local Planning Scheme No. 17 (Part 9.2) to determine what information should be submitted to support the development application.

In addition, proponents must submit a schedule of proposed building materials and colours and, for tourism developments exceeding 300m², a landscape plan.



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